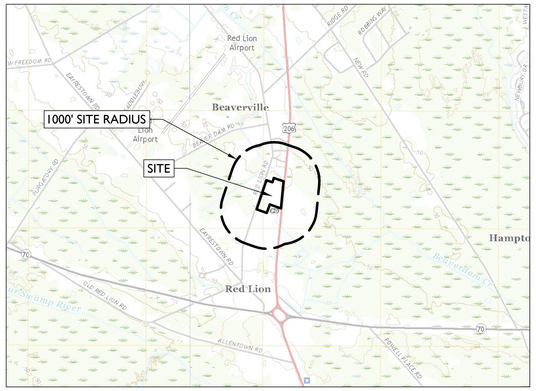
PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

DOLLAR GENERAL®

PROPOSED RETAIL BUILDING

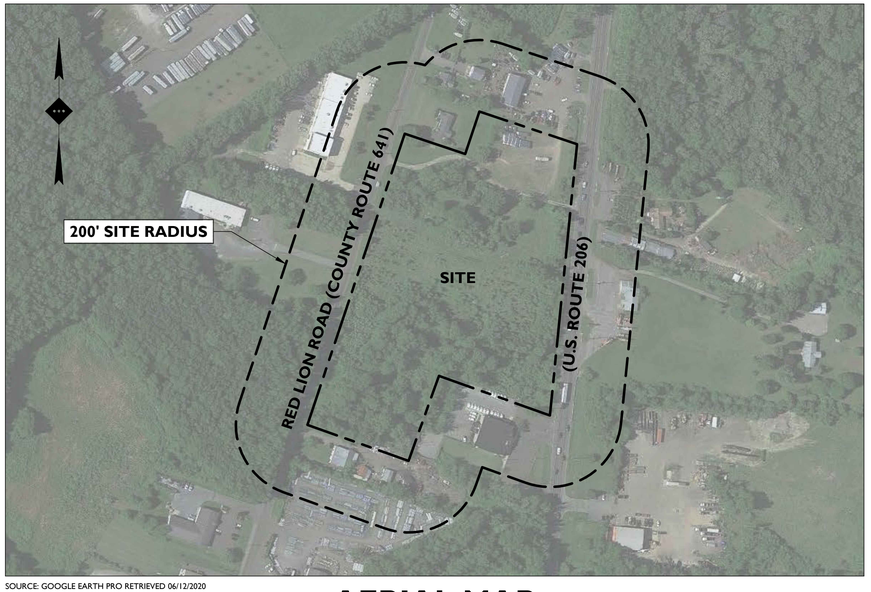
BLOCK 2203 LOT 14
1823 U.S. ROUTE 206
TOWNSHIP OF SOUTHAMPTON, BURLINGTON COUNTY, NEW JERSEY



SOURCE: USGS PEMBERTON AND MOUNT HOLLY QUADRANGLES, NEW JERSEY 7.5 MINUTE SERIES, DATED 2019

LOCATION / KEY MAP

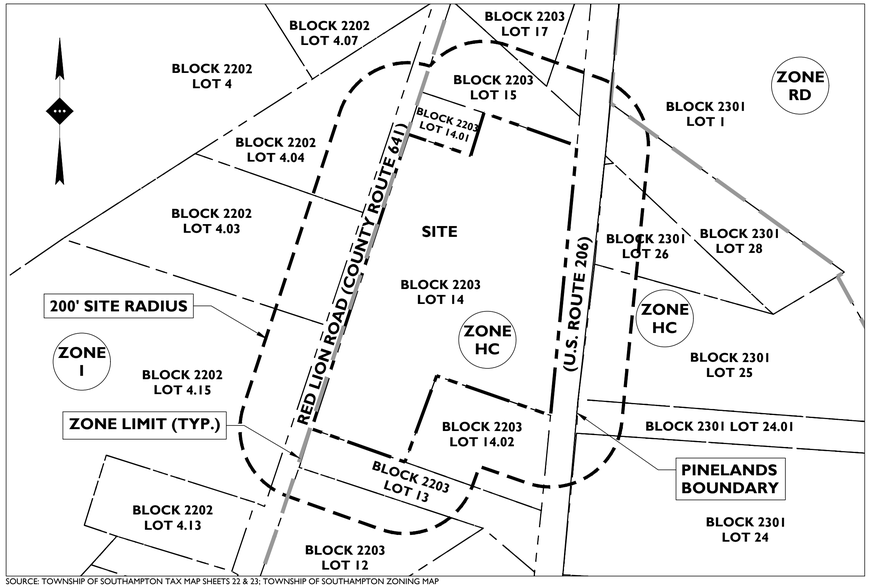
SCALE: 1" = 2000'±



SOURCE: GOOGLE EARTH PRO RETRIEVED 06/12/2020

AERIAL MAP

SCALE: 1" = 200'±



SOURCE: TOWNSHIP OF SOUTHAMPTON TAX MAP SHEETS 22 & 23; TOWNSHIP OF SOUTHAMPTON ZONING MAP

TAX / ZONING

SCALE: 1" = 200'±

Know what's **below**
Call before you dig.

APPROVAL BLOCK

APPROVED BY THE TOWNSHIP OF SOUTHAMPTON PLANNING BOARD

BOARD CHAIR — DATE

SECRETARY — DATE

ENGINEER — DATE

APPLICANT

SOUTHAMPTON DG, LLC
361 SUMMIT BOULEVARD, SUITE 110
BIRMINGHAM, ALABAMA 35243
(205) 281-5053

OWNER

BOCK 2203, LOT 14
HAAS, CATHERINE
1812 ROUTE 206 P.O. BOX 2329
SOUTHAMPTON, NJ 08088

BLOCK 2203, LOT 14.01
HAAS, CATHERINE SUSAN
1 SOUTH PARK
TABERNACLE, NJ 08088

ATTORNEY

PRIME LAW
1400 HORIZON WAY, SUITE 325
MOUNT LAUREL, NEW JERSEY 08054
FAX:(856) 273-8300
PHONE:(856) 273-8383

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

TOWNSHIP OF SOUTHAMPTON 200' PROPERTY OWNERS LIST

BLOCK	LOT	OWNER	OWNER'S ADDRESS
2202	4.03	WILLIAMS, SYLVIA M	172 WILLOW GROVE RD, VINCENTOWN, NJ 08088
2202	4.04	143 RED LION, LLC	PO BOX 2537, VINCENTOWN, NJ 08088
2203	4.15	LION SELF STORAGE, LLC	124 EAYRESTOWN RD, SOUTHAMPTON, NJ 08088
2203	12	HAHN, JOHN HAROLD JR	STE 130 #198 3501 RT 42 , TURNERSVILLE, NJ 08012
2203	13	ZIMMERMAN, JAMES G & TATUM, BRUCE	107 CHAIRVILLE RD, MEDFORD, NJ 08055
2203	14.01	HAAS, CATHERINE SUSAN	1 SOUTH PARK DR, TABERNACLE, NJ 08088
2203	14.02	UNITED STATES POSTAL SERVICE	1845 WALNUT ST, PHILADELPHIA, PA 19100
2203	15	GIBERSON, JAMES B JR & LISA-ANN M	2410 FOSTERTOWN RD, HAINESPORT, NJ 08036
2203	17	POINSETT, JAMES G	150 RED LION RD, SOUTHAMPTON, NJ 08088
2301	23	SHAW, RICHARD J	1806 ROUTE 206, SOUTHAMPTON, NJ 08088
2301	24	HAAS, CATHERINE M	PO BOX 2329, SOUTHAMPTON, NJ 08088
2301	25	EVERGREENS DAIRY BAR INC	322 WILLOW ST, BORDENTOWN, NJ 08505
2301	26	INSINGA, CHRISTOPHER	1826A ROUTE 206, SOUTHAMPTON, NJ 08088
2301	27	INSINGA, CHRISTOPHER	1826A ROUTE 206, SOUTHAMPTON, NJ 08088

UTILITY PROVIDER LIST

NAME	ADDRESS
PUBLIC SERVICE ELECTRIC & GAS	MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102
VERIZON	540 BROAD STREET - ROOM 305 NEWARK, NJ 07101
CONECTIV REAL ESTATE DEPT	5100 HARDING HIGHWAY, STE 399 MAYS LANDING, NJ 08330-9902
ELIZABETHTOWN WATER	C/O PROPERTY MANAGER 1341 NORTH AVENUE PLAINFIELD, NJ 07061
PINELANDS WATER & WASTEWATER	P.O. BOX 499 ISELIN, NJ 08830-0499
COMCAST CABLE	1250 HADDONFIELD-BERLIN ROAD P.O. BOX 5035 CHERRY HILL, NJ 08625
NEW JERSEY DEPT. OF TRANSPORTATION	1035 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08625
BURLINGTON CO. PLANNING BOARD	1800 BRIGGS ROAD P.O. BOX 6000 MOUNT HOLLY, NJ 08060
TOWNSHIP OF SOUTHAMPTON	5 RETREAT ROAD SOUTHAMPTON, NJ 08088

PLANS PREPARED BY:

STONEFIELD engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

ZONING RELIEF TABLE

CODE SECTION	REQUIRED	PROPOSED	RELIEF TYPE
OFF-STREET PARKING REQUIREMENTS §12-5.10.i	SIZE OF PARKING STALL: 10 FT X 20 FT	9 FT X 20 FT (V)	VARIANCE
OFF-STREET PARKING REQUIREMENTS §12-5.10.k.2	PARKING SPACES SHALL BE LOCATED AT LEAST 20 FT FROM ANY BUILDING AND 15 FT FROM ANY STREET RIGHT-OF-WAY. NO LOADING AREAS IN THE FRONT YARD.	5.50 FT (V)	VARIANCE
§ 12-3.14.c.2.a	SCENIC SETBACK: SHALL EQUAL THE AREA 200 FT MEASURED FROM THE ULTIMATE RIGHT-OF-WAY LINE OF THE DESIGNATED SCENIC ROADWAY. NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENTS SHALL BE ALLOWED WITHIN THE SETBACK AREA.	68.0 FT (V)	VARIANCE
§ 12-3.14.c.2.b.(1)	SCENIC LANDSCAPE BUFFER: PRESERVABLE/RURAL LANDSCAPE; A PLANTED SCENIC CORRIDOR BUFFER SHALL BE PROVIDED WITHIN 100 FT NEAREST TO THE RIGHT-OF-WAY-LINE.	68.0 FT (V)	VARIANCE

PLAN REFERENCE MATERIALS:

1. **THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:**
   - **SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN, LLC DATED JUNE 10, 2020.**
   - **AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO**
   - **LOCATION MAP OBTAINED FROM BRIDGEPORT & WOODBURY QUADRANGLES 7.5 MIN SERIES**
2. **ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.**

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LIGHTING DETAILS	C-8
SOIL EROSION & SEDIMENT CONTROL PLAN	C-9 - C-10
LANDSCAPING PLAN & DETAILS	C-11 - C-12
CONSTRUCTION DETAILS	C-13 - C-15

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

SCALE: AS SHOWN | PROJECT ID: Z-19159

TITLE: COVER SHEET

DRAWING: C-1

Z:\PROJECTS\2019\Z-19159 DGL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\ACTIVE\DP-01_COVR.DWG

SYMBOL	DESCRIPTION
	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CHAIN LINK FENCE
	GUIDE RAIL
	MAST ARM LIGHT POLE
	POLE
	SIGNS
WV	WATER VALVE
GV	GAS VALVE
	DRAIN
E.P.	EDGE OF PAVEMENT
	OVERHEAD WIRE
100	MAJOR CONTOUR
101	MINOR CONTOUR
× 100.00	GRADE SPOT SHOT
× TC 100.50	TOP OF CURB SHOT
× BC 100.00	BOTTOM OF CURB SHOT
15"	DECIDUOUS TREE - DIAMETER NOTED
15"	PINE TREE - DIAMETER NOTED
	BENCH MARK

SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

30' 0' 30' 60'

GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2303, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30'	PROJECT ID: Z-19159

TITLE:

EXISTING CONDITIONS PLAN

DRAWING:

C-2

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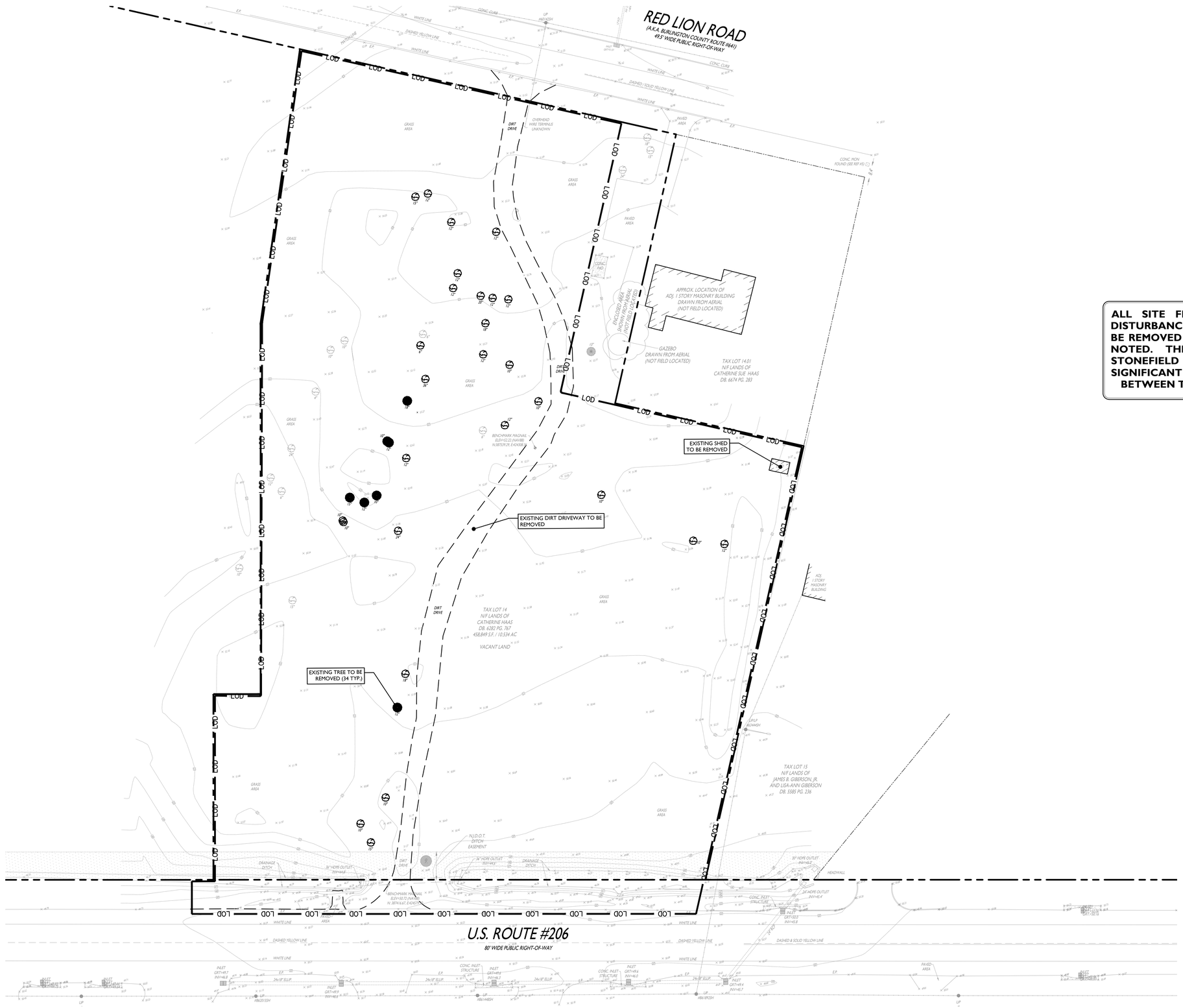

SYMBOL	DESCRIPTION
— — — — —	FEATURE TO BE REMOVED / DEMOLISHED
LOD	LIMIT OF DISTURBANCE

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

811

Know what's **below**
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AREA OF DISTURBANCE: 149,974 SF

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2303, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30'	PROJECT ID: Z-19159

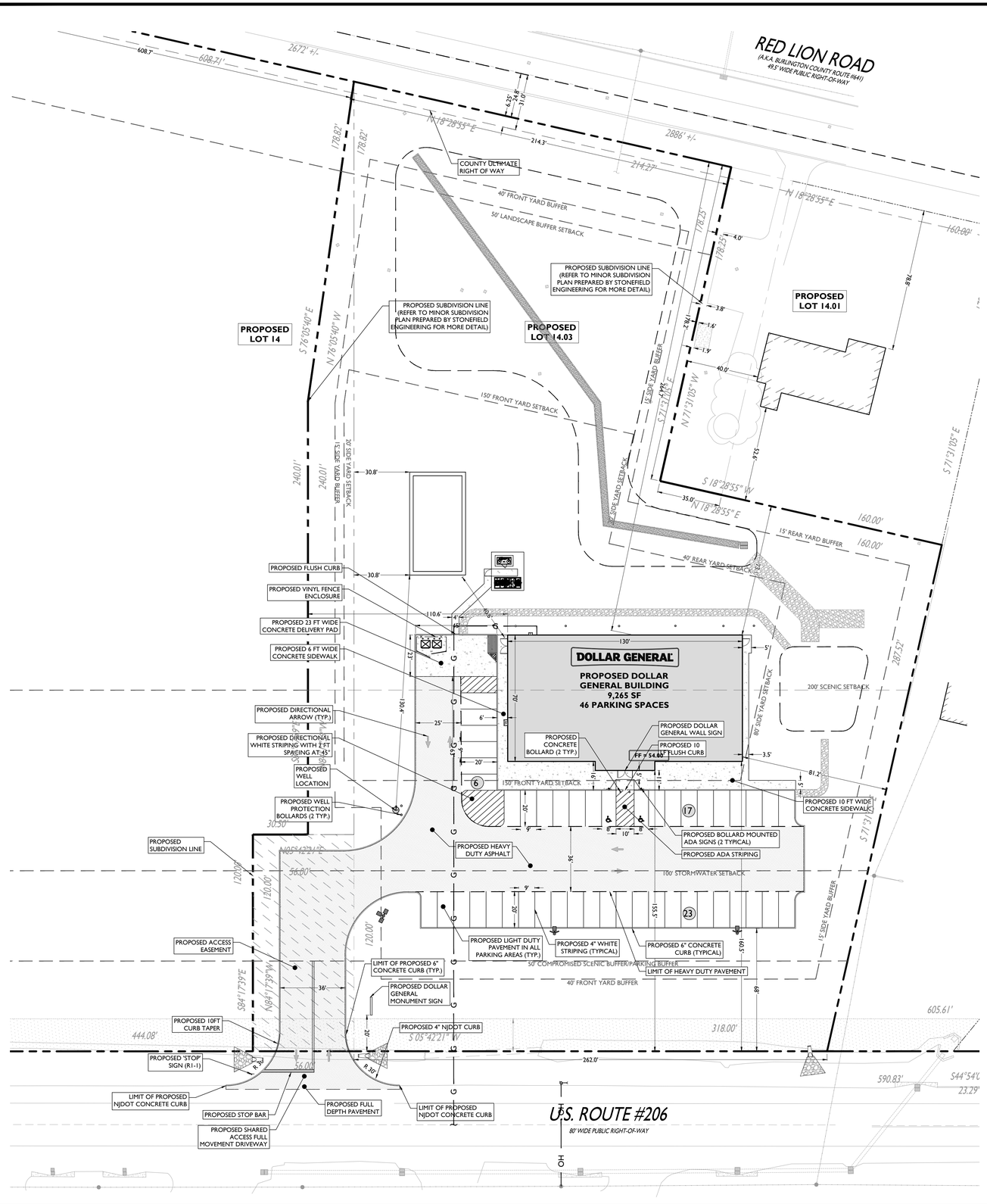
TITLE:

DEMOLITION PLAN

DRAWING:

C-3

Z:\PROJECTS\Z\Z-19159 - FIVE FOR DOLLAR DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\DLP-D3-DEMO.DWG



LAND USE AND ZONING

BLOCK 2203, LOT 14

HIGHWAY COMMERCIAL (HC)

PROPOSED USE

RETAIL COMMERCIAL ESTABLISHMENT — PERMITTED USE

ZONING REQUIREMENT	REQUIRED	EXISTING LOT 14	PROPOSED LOT 14.03	PROPOSED LOT 14
MINIMUM LOT AREA	2 AC (135,227.5 SF)	10.53 AC (458,849.0 SF)	3.31 AC (144,087.2 SF)	7.08 AC(308,522.6 SF)
MINIMUM LOT FRONTAGE (ROUTE 206)	200 FT	762.0 FT	262.0 FT	444.0 FT
MINIMUM LOT FRONTAGE (RED LION ROAD)	200 FT	857.9 FT	214.3 FT	608.7 FT
MINIMUM LOT WIDTH	200 FT	762.0 FT	200.0 FT	444.0 FT
MINIMUM LOT DEPTH	300 FT	629.3 FT	537.0 FT	547.4 FT
MINIMUM SIDE YARD SETBACK (AGG.)	100 FT	N/A	166.3 FT	N/A
MINIMUM SIDE YARD SETBACK (EACH)	20 FT	N/A	81.2 FT	N/A
MINIMUM FRONT YARD SETBACK (ROUTE 206)	150 FT	N/A	155.5 FT	N/A
MINIMUM FRONT YARD SETBACK (RED LION ROAD)	150 FT	N/A	264.7 FT	N/A
MINIMUM REAR YARD SETBACK	4 FT	N/A	73.1 FT	N/A
FRONT YARD BUFFER	40 FT	N/A	68.0 FT	N/A
REAR YARD BUFFER	15 FT	N/A	73.1 FT	N/A
SIDE YARD BUFFER	15 FT	N/A	81.2 FT	N/A
MAXIMUM FLOOR AREA RATIO	0.50	N/A	0.063	N/A
MAXIMUM IMPERVIOUS COVERAGE	50%	N/A	26.3%	N/A
MAXIMUM BUILDING HEIGHT	35 FT	N/A	18 FT	N/A

(N/A) NOT APPLICABLE

LAND USE AND ZONING

BLOCK 2203, LOT 14.01

HIGHWAY COMMERCIAL (HC)

PROPOSED USE

RETAIL COMMERCIAL ESTABLISHMENT — PERMITTED USE

ZONING REQUIREMENT	REQUIRED	EXISTING LOT 14.01	PROPOSED LOT 14.01
MINIMUM LOT AREA	2 AC (135,227.5 SF)	0.51 AC(22,280.2 SF) (EN)	0.65 AC(28,519.5 SF) (EN)
MINIMUM LOT FRONTAGE	200 FT	125.0 FT	159.9 FT (EN)
MINIMUM LOT WIDTH	200 FT	125.0 FT	159.9 FT (EN)
MINIMUM LOT DEPTH	300 FT	178.2 FT (EN)	178.2 FT (EN)
MINIMUM SIDE YARD SETBACK (AGG.)	100 FT	59.4 FT (EN)	94.4 FT (EN)
MINIMUM SIDE YARD SETBACK (EACH)	20 FT	5.0 FT (EN)	40.0 FT
MINIMUM FRONT YARD SETBACK	150 FT	78.7 FT (EN)	78.7 FT (EN)
MINIMUM REAR YARD SETBACK	40 FT	52.4 FT	52.4 FT
FRONT YARD BUFFER	40 FT	78.7 FT	78.7 FT
REAR YARD BUFFER	15 FT	30.70 FT	30.70 FT
SIDE YARD BUFFER	15 FT	0.0 FT (EN)	22.00 FT
MAXIMUM FLOOR AREA RATIO	0.50	0.099	0.077
MAXIMUM IMPERVIOUS COVERAGE	50%	12.9%	17.8%
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT

(EN) EXISTING NONCONFORMITY

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 12-5.10.b	MINIMUM 90° 2-WAY AISLE WIDTH: 25 FT	25 FT; COMPLIES
§ 12-5.10.c	NONRESIDENTIAL ACCESS. DRIVES SHALL BE LIMITED TO TWO FOR ANY STREET, EXCEPT WHEN FRONTAGE EXCEEDS 500 FT. EACH DRIVE SHALL NOT BE MORE THAN TWO LANES OF TRAFFIC, AT LEAST 100 FT FROM INTERSECTING STREETS, AND BE AT LEAST 20 FT FROM ANY PROPERTY LINE	COMPLIES
§ 12-5.10.d	PARKING AREAS CONTAINING SIX OR MORE SPACES AND ALL OFF-STREET LOADING AREAS SHALL HAVE CONCRETE CURBING AROUND THE PERIMETER.	COMPLIES
§ 12-5.10.e	PARKING AREAS FOR SIX OR MORE VEHICLES AND LOADING AREAS FOR NONRESIDENTIAL USES SHALL BE BUFFERED FROM ADJOINING STREETS AND RESIDENTIAL USES	COMPLIES
§ 12-5.10.i	SIZE OF PARKING STALL: 10 FT X 20 FT	9 FT X 20 FT (V)
§ 12-5.10.j.23	PARKING SPACE REQUIREMENT: (RETAIL STORE) 1 PER 200 SF OF GROSS FLOOR AREA 9,100 SF / 200 = 45.5 → 46 SPACES	46 SPACES; COMPLIES
§ 12-5.10.k.2	PARKING SPACES SHALL BE LOCATED AT LEAST 20 FT FROM ANY BUILDING AND 15 FT FROM ANY STREET RIGHT-OF-WAY. NO LOADING AREAS IN THE FRONT YARD.	6' FT(BUILDING) (V) 68' (STREET) COMPLIES (LOADING)
§ 12-5.10.k.3	NO PARKING OR LOADING SPACE SHALL BE LOCATED IN ANY REQUIRED BUFFER AREA.	PARKING WITHIN SCENIC SETBACK (V)
§ 12-5.10.m.2	HANDICAPPED SPACES SHALL BE IDENTIFIED BY A SIGN FACING THE END OF EACH SPACE AND BY PAINTING IN THE SPACE ITSELF DISPLAYING THE INTERNATIONAL SYMBOL.	COMPLIES
§ 12-5.10.n	LOADING SPACE DIMENSION: 60 FT. LENGTH x 10 FT WIDTH	25 FT X 63 FT
§ 12-5.10.o	1 LOADING SPACE REQUIRED PER 10,000 SF OF GROSS FLOOR AREA 9,100 SF BUILDING = 0 LOADING SPACES REQUIRED	1 LOADING SPACE

(V) VARIANCE
(TBD) TO BE DETERMINED

SIGNAGE REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 12-5.15.c.5	ILLUMINATED SIGNS SHALL BE ARRANGED SUCH THAT NO LIGHT OR GLARE IS DIRECTED OR REFLECTED TO ADJOINING LOTS OR STREET OR INTO RESIDENTIAL WINDOWS.	COMPLIES
§ 12-5.15.c.10.d.	EACH PRINICIPAL USE NOT PART OF A SHOPPING CENTER MAY HAVE ONE FREESTANDING SIGN AND ONE ATTACHED SIGN.	COMPLIES
§ 12-5.15.c.10.d.	ATTACHED SIGNS SHALL NOT EXCEED 10% OF THE WALL SURFACE AREA OF THE WALL OF WHICH SAID SIGN IS ATTACHED. *18.5FT x 130.0FT = 2,405 SF x .10 = 240.5 SF PERMITTED*	
§ 12-5.15.c.10.d.		
§ 12-5.15.c.10.d.(1)	THE AREA ON ONE SIDE OF ALL SUCH FREESTANDING SIGNS ERECTED ON ONE STREET FRONTAGE SHALL NOT EXCEED 50 SF.	50 SF
§ 12-5.15.c.10.d.(2)	SUCH SIGN, EXCEPT A DIRECTIONAL SIGN, IS ERECTED ONLY ON THE PREMISES ON WHICH THE USE, TO WHICH THE SIGN RELATES, IS CONDUCTED.	COMPLIES
§ 12-5.15.c.10.d.(3)	MAXIMUM SIGN HEIGHT = 10 FT	8 FT
§ 12-5.15.c.10.d.(4)	SIGN SETBACK = MINIMUM 10 FT FROM ALL STREET AND PROPERTY LINES.	20 FT

(TBD) TO BE DETERMINED

SCENIC CORRIDOR OVERLAY DISTRICT REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 12-3.14.c.2.a	SCENIC SETBACK: SHALL EQUAL THE AREA 200 FT MEASURED FROM THE ULTIMATE RIGHT-OF-WAY LINE OF THE DESIGNATED SCENIC ROADWAY. NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENTS SHALL BE ALLOWED WITHIN THE SETBACK AREA.	68.0 FT (V)
§ 12-3.14.c.2.b.(1)	SCENIC LANDSCAPE BUFFER: PRESERVABLE/RURAL LANDSCAPE: A PLANTED SCENIC CORRIDOR BUFFER SHALL BE PROVIDED WITHIN 100 FT NEAREST TO THE RIGHT-OF-WAY-LINE	68.0 FT (V)
§ 12-3.14.c.2.c.(1)	NO MORE THAN ONE STREET ACCESS DRIVEWAY CUT SHALL BE PERMITTED PER LOT.	COMPLIES

(V) VARIANCE

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED FLUSH CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED EXTENDED CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED RETAINING WALL
	PROPOSED HANDRAIL
	PROPOSED CHAINLINK FENCE
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED GUIDERAIL
	PROPOSED BUILDING DOORS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

AREA OF DISTURBANCE: 149,974 SF

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

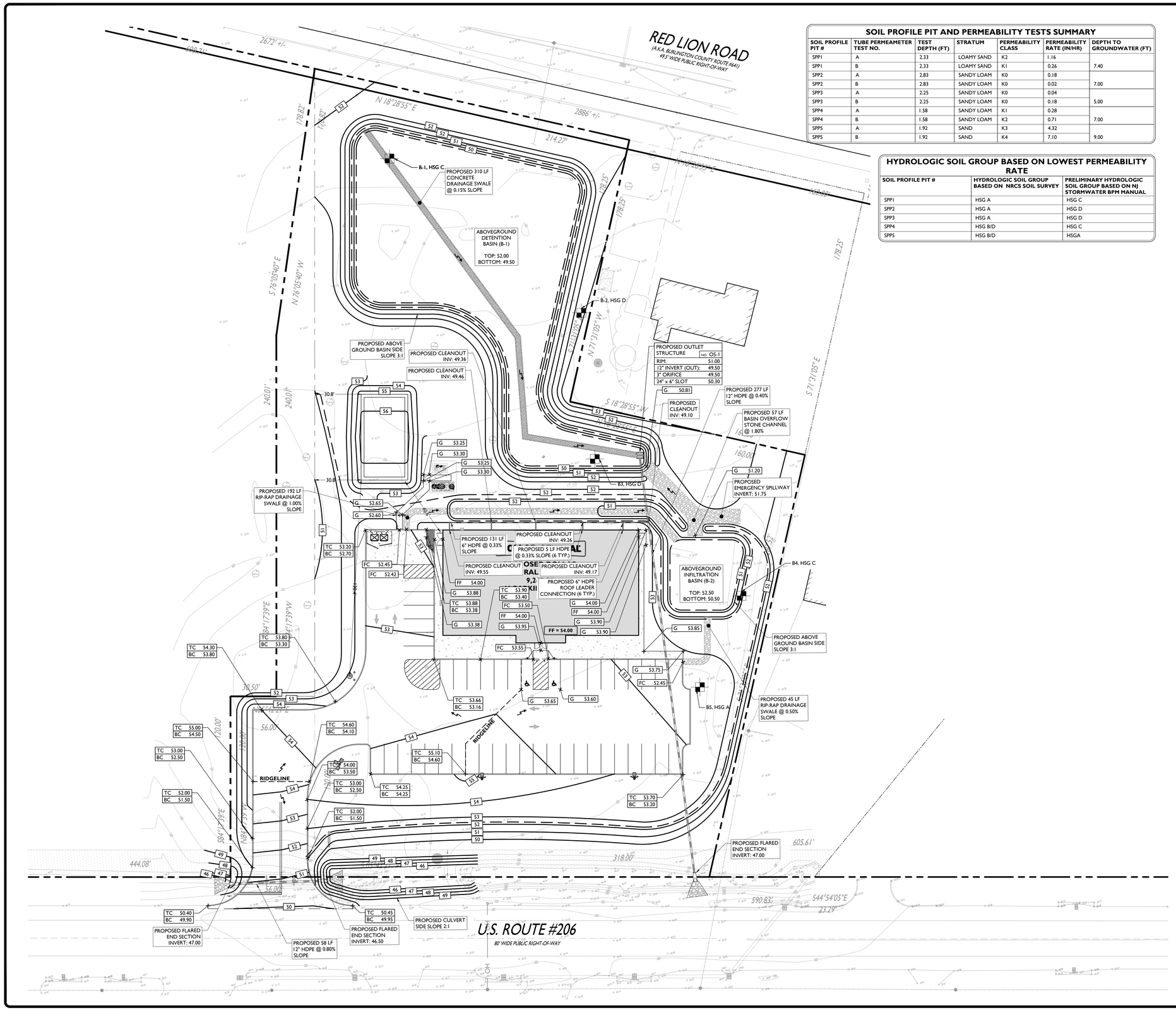
STONEFIELD engineering & design

SCALE:	1" = 30'	PROJECT ID:	Z-19159

TITLE: **SITE PLAN**

DRAWING: **C-4**

Z:\PROJECTS\Z2019\Z-19159 DAL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\LDP-04-SITE.DWG



SOIL PROFILE PIT AND PERMEABILITY TESTS SUMMARY

SOIL PROFILE PIT #	TUBE PERMEAMETER TEST NO.	TEST DEPTH (FT)	STRATUM	PERMEABILITY CLASS	PERMEABILITY RATE (IN/HR)	DEPTH TO GROUNDWATER (FT)
SPP1	A	2.33	LOAMY SAND	K2	1.16	
SPP1	B	2.33	LOAMY SAND	K1	0.26	7.40
SPP2	A	2.83	SANDY LOAM	K0	0.18	
SPP2	B	2.83	SANDY LOAM	K0	0.02	7.00
SPP3	A	2.25	SANDY LOAM	K0	0.04	
SPP3	B	2.25	SANDY LOAM	K0	0.18	5.00
SPP4	A	1.58	SANDY LOAM	K1	0.28	
SPP4	B	1.58	SANDY LOAM	K2	0.71	7.00
SPP5	A	1.92	SAND	K3	4.32	
SPP5	B	1.92	SAND	K4	7.10	9.00

HYDROLOGIC SOIL GROUP BASED ON LOWEST PERMEABILITY RATE

SOIL PROFILE PIT #	HYDROLOGIC SOIL GROUP BASED ON NRCS SOIL SURVEY	PRELIMINARY HYDROLOGIC SOIL GROUP BASED ON NJ STORMWATER BPM MANUAL
SPP1	HSG A	HSG C
SPP2	HSG A	HSG D
SPP3	HSG A	HSG D
SPP4	HSG B/D	HSG C
SPP5	HSG B/D	HSGA

SYMBOL / DESCRIPTION

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
G 100.00	PROPOSED GRADE SPOT SHOT
TC 100.50 / BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
DC 100.12 / BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
TW 102.00 / BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
   - CURB GUTTER: 0.50%
   - CONCRETE SURFACES: 1.00%
   - ASPHALT SURFACES: 1.00%
5. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
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1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

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Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2703, LOT 14
1923 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

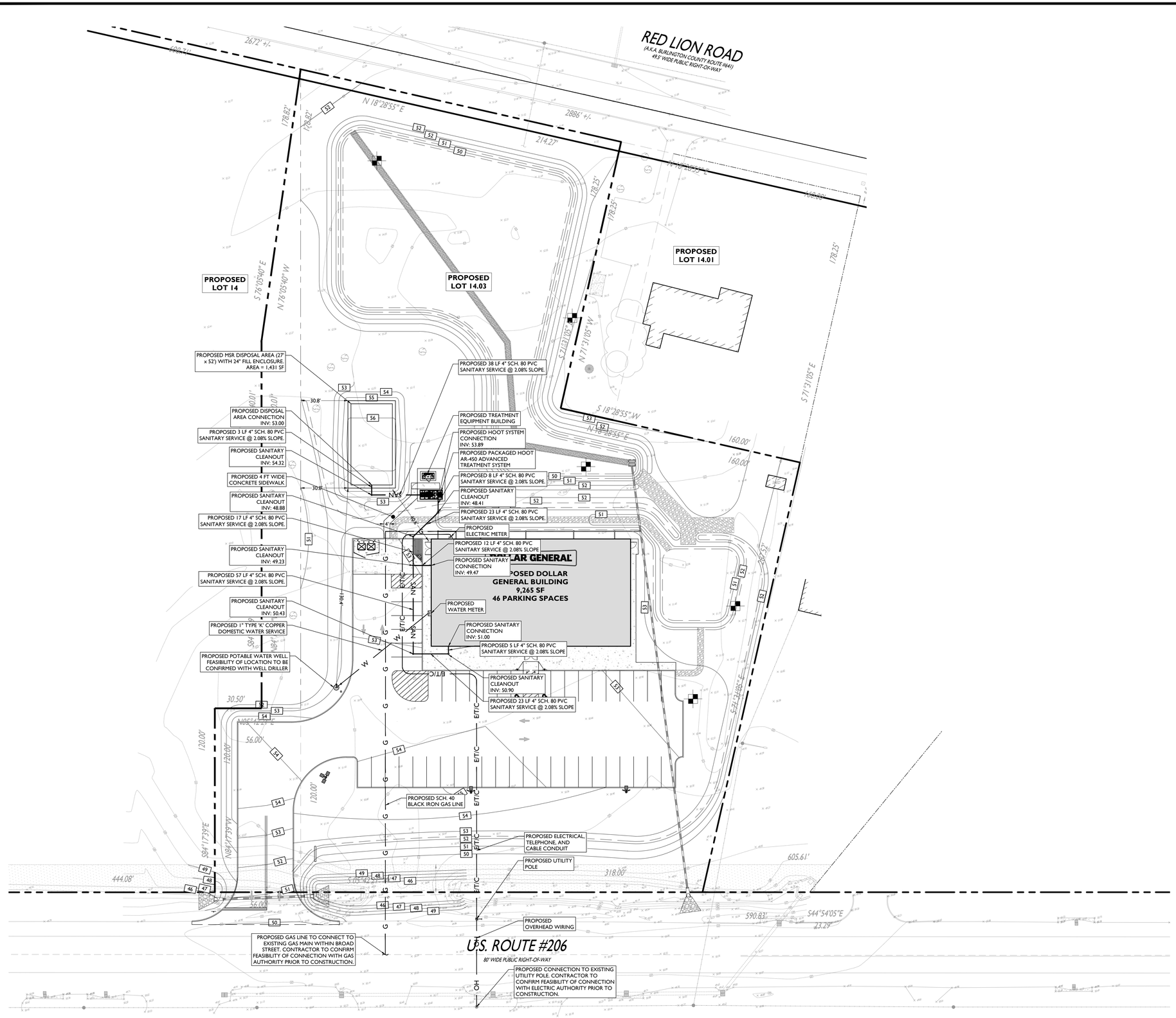
STONEFIELD engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE: GRADING & DRAINAGE PLAN

DRAWING: C-5

Z:\PROJECTS\Z-19159 DOLLAR DEVELOPMENT - 1923 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\DP-05-GRAD.DWG



SYMBOL	DESCRIPTION
	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E/T/C	PROPOSED ELECTRICAL/DATA CONDUITS
T/C	PROPOSED DATA CONDUITS
E	PROPOSED ELECTRIC CONDUITS
OH	PROPOSED OVERHEAD WIRES
G	PROPOSED GAS LINE
	PROPOSED VALVE
	PROPOSED WATER TEE / BEND
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DIRECT CONNECTION (FDC)
S	PROPOSED SANITARY MANHOLE / CLEANOUT
	PROPOSED UTILITY POLE
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2202, LOT 14
1023 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: Z-19159

TITLE:

UTILITY PLAN

DRAWING:

C-6

Z:\PROJECTS\Z2019\Z-19159 DAL DEVELOPMENT - 1023 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\DP-01-UTIL.DWG

LUMINAIRE SCHEDULE

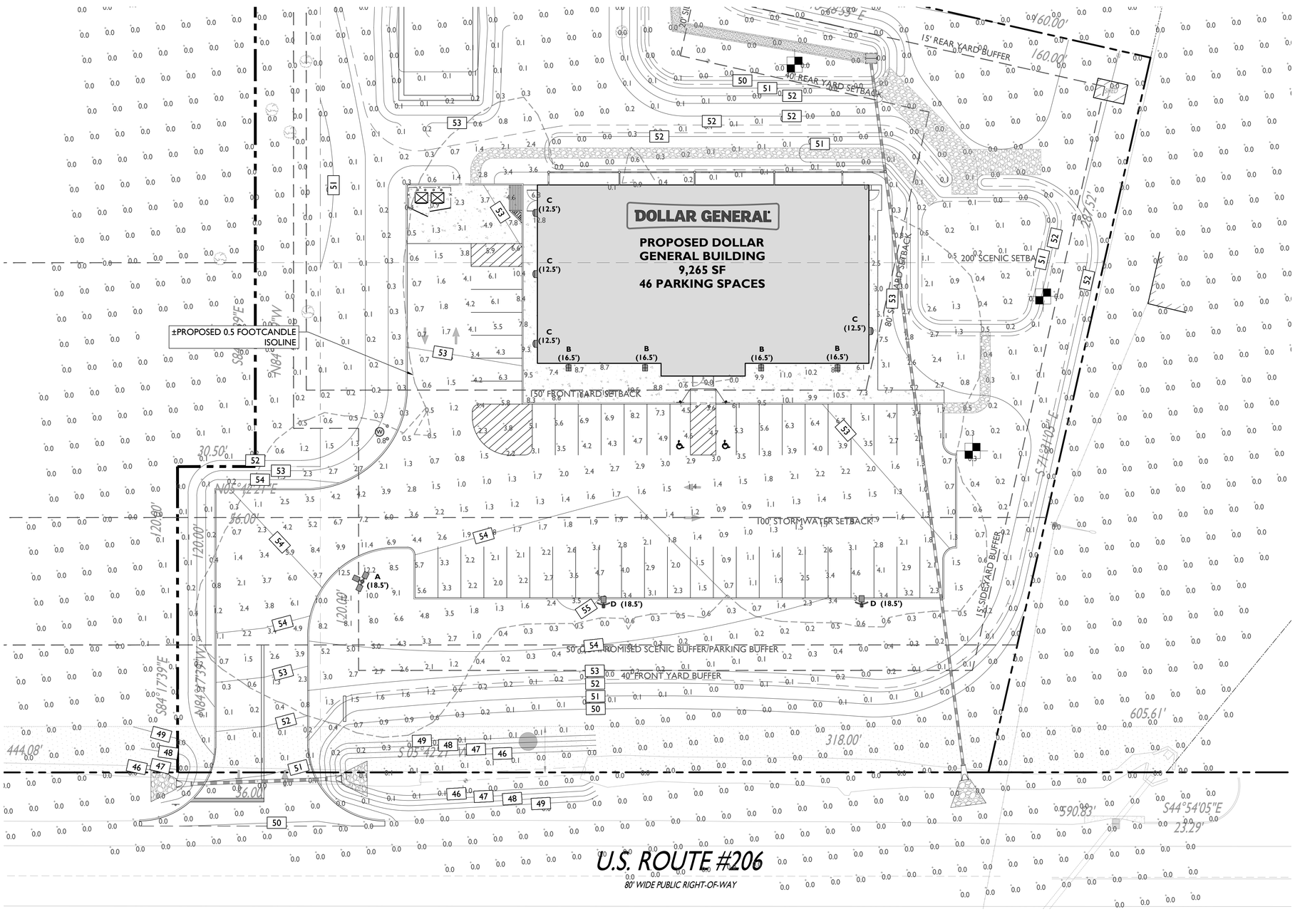
SYMBOL	LABEL	QUANTITY	FIXTURE DETAILS	TYPE	LLF	MANUFACTURER	IES FILE
	A	1	(3) LED AREA LIGHTS ON 24' POLE	3	0.9	TECHLIGHT	LSBT-1CXBT3F.IES
	B	4	LED AREA LIGHT ON WALL MOUNT 42" EXTENSION ARM	3	0.9	TECHLIGHT	LSBT-1CXBT3F.IES
	C	4	QUBEFLOOD4 LIGHT WITH RIGHT ANGLE BRACKET	3	0.9	US LED	QF4-X-UNVL-5-50-150.IES
	D	2	(1) LED AREA LIGHT ON 24' POLE	3	0.9	TECHLIGHT	LSBT-1CXBT3F.IES

TOWNSHIP OF SOUTHAMPTON LIGHTING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 12-5.8 (b)	THE LIGHT INTENSITY PROVIDED AT GROUND LEVEL SHALL BE INDICATED IN FOOTCANDLES AND SHALL AVERAGE AT LEASE 0.5 FC AND NOT EXCEED A MAXIMUM OF 1.0 FC.	12.8 FOOTCANDLES
	LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN 25 FT OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS.	18.5FT; COMPLIES
§ 12-5.8 (d)	LIGHT SPILLAGE OF MORE THAN 0.2 FOOTCANDLES ONTO ADJACENT PROPERTIES SHALL BE PROHIBITED.	0.2 FOOTCANDLES; COMPLIES
	NO LIGHTS SHALL BE OF A ROTATING, PULSATING OR OTHER INTERMITTENT FREQUENCY.	COMPLIES

NOTES:

1. ALL EXISTING TREE LIMBS WITHIN 60 FOOT ATM RADIUS SHOWN ON PLAN SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS TO BE TRIMMED TO 36" HIGH WITHIN 60 FOOT ATM RADIUS. ALL BRUSH SHALL BE REMOVED. FUTURE GROWTH AND FULL BLOOM SHALL BE CONSIDERED. EXISTING TREE LIMBS SHALL BE TRIMMED TO PREVENT LIGHT INTERFERENCE AS NECESSARY.
2. PRIOR TO BID, CONTRACTOR SHALL MAKE NOTE OF EXISTING EXTERIOR LIGHTING AT NIGHT AND NOTIFY OWNER OF DAMAGED OR INOPERABLE LIGHTS ON PLANS TO DETERMINE WHETHER REPAIRS SHALL BE MADE. CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS NOTED FOR REPLACEMENT ON THESE PLANS.
3. THIS LIGHTING DESIGN IS BASED ON THE BANK'S CURRENT POLICY FOR EXTERIOR ATMS.
4. ALL LIGHTS TO HAVE PHOTOCELL OPTION ENABLED.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
X.X	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
   - LIGHT EMITTING DIODES (LED): 0.90
   - HIGH PRESSURE SODIUM: 0.72
   - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

1. THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
   FIXTURE 'X' = MINIMUM X WATTS
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
3. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
6. PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC. OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
7. THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
8. ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
9. EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: Z-19159

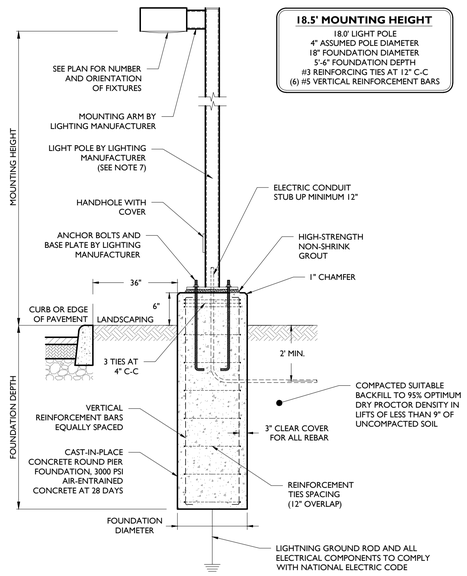
TITLE:

LIGHTING PLAN

DRAWING:

C-7

Z:\PROJECTS\2020\TBZ-19159 DAL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON_SITE\CAD\PLOT\LIGHTING\LIGHT.DWG



LIGHT POLE INSTALLATION DETAIL

NOT TO SCALE

NOTES:

1. MINIMUM SOIL BEARING PRESSURE OF 1,500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
7. POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
8. POUR TO BE TERMINATED AT A FORM.
9. WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
10. CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

1

QubeFlood4

Exterior LED Flood Luminaire

Project	Type
Catalog Number	

Rev #	12/18/17.1

US LED — Always the Right Choice!

Description

For exterior flood lighting applications in new construction or retrofit opportunities, US LED brings the QubeFlood4. The QubeFlood4 luminaire offers an extensive array of options to accommodate any flood lighting requirement, including an assortment of light distributions, mounting methods, on-board controls and luminaire finishes. The QubeFlood4 is designed to be orientated either vertical or horizontal, thus increasing its adaptability and functionality on any project.

Features

- Slip-fitter, pole mount and trunnion mount options available
- Three light distribution patterns: Type 5, Type 2, and 120° angle
- Option for use as a flood light or on a pole in parking lot applications
- Flux options ranging from 9,550 lumens to 16,500 lumens available
- 10-Year Warranty

Specifications - *Average values for family products*

Dimensions (in)	14.25" x 14.25" x 3.75"
Units / Carton	1
Net Weight	11 lbs.
Environmental Rating	Wet

Certifications

- UL Listed for US and Canada (# E338791)
- DesignLights Consortium® qualified (Premium)
  Except fixture QF4-x-UNVL-2-50-150
- LM-79 and LM-80 available

Energy Data

Input Voltage (VAC)	120-277/347-480
Color Temperature (K)	5000
Color Rendering Index (CRI)	70 min
L70 Calculated Life (Hrs.)*	200,000
L85 Calculated Life (Hrs.)*	83,000
Operating Temp (°C)	– 40 to 40

* US LED product 'Lifetime' refer only to the LED light engine, not the power source, and are based on the Illuminating Engineering Society's TM21 Calculated Lumen Maintenance methodology at a 25°C/77°F ambient temperature. The lifetimes are solely meant to be a guide for expected LED degradation and not a warranty or predictive or linear actual life, which can be affected by ambient temperatures and other factors.

Ordering Information

Series	Color	Voltage	Light Pattern	Color Temp	Current
QF4	1 - *Bronze* 2 - *White* 3 - *Black*	UNVL - *120-277* UNVH - *347-480*	2 - *Type 2* 5 - *Type 5* 12 - *Lambertian*	50 - *5000K*	80 - *800mA* 100 - *1000mA* 120 - *1200mA* 140 - *1400mA* 150 - *1500mA*

Example: QF4-1-UNVL-2-50-80

Lumen Package Offerings

	System Level Power (W)	Delivered Lumens (Lm)	System Efficacy (Lm/W)
QF4-1-UNVX/X-50-80	73	9,550	130
QF4-1-UNVX/X-50-100	93	11,650	126
QF4-1-UNVX/X-50-120	112	13,650	122
QF4-1-UNVX/X-50-140	131	15,700	120
QF4-1-UNVX/X-50-150	140	16,500	118

US LED | 6807 Portwest Dr Houston, Texas 77024 866.972.9191 | usled.com

LIGHT FIXTURE "C" DETAIL

2

TECHLIGHT

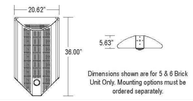
DesignLights Consortium® Qualified. Please go to www.designlights.org for the current Qualified Products List. Further details about qualified models may be found under Family Models.

Catalog Number	
Project	Type

Tapered Back
Saber LED Area Light

LSBT SERIES

Shown with optional Quick Mount Bracket (QMB)



Dimensions shown are for 5 & 6 Brick Unit Only. Mounting options must be ordered separately.

Series	Housing Height	Length & Width	EPA (ft²)
LSBT	5.63"	36.00" x 20.62"	.8

FEATURES & SPECIFICATIONS

APPLICATION — The high performance luminaire is designed for area lighting applications where long life, low maintenance, and consistent color rendering is required. Areas with limited accessibility due to fixture location or where heavy pedestrian or vehicle traffic makes maintenance difficult are ideal applications such as parking lots or walkways. It is also compact and versatile enough for general purpose security lighting.

CONSTRUCTION — The heavy duty housing is constructed of extruded aluminum. The optical assemblies are sealed in place using a silicone gasket for weather tight protection. Modular LED bricks wired in parallel for ease of maintenance. ETL listed for wet locations (IP64). Additional IP66 rating available upon request.

FINISH — A Super Durable Polyester powder coat finish is electrostatically applied in our state of the art paint facility. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM — Made with a state of the art UV stabilized acrylic high performance refractive optical assemblies that use high transmicity materials to achieve precise photometric distributions. Available in Type II, III, IV, IV Automotive, V Medium and V Wide beam configurations. Star Light Friendly (meets or exceeds Dark Sky requirements) in the horizontal position.

ELECTRICAL SYSTEM — Available in up to a 6 brick LED system in 5000K Cool White (+/- 500K) or 4100K Neutral White color temperatures (70 CRI min.) propagated with Philips Lumileds LUXEON® T LED's or Osram equivalent. Available with 90-300V 50/60 Hz Class II power supply. LED's rated over 355,000 hours (TM21 Calculated L70) at 25°C ambient temperature with selectable 700mA, 1050mA and 1400mA operation. Lumen Maintenance >97% at 50K hrs. 347V and 480V input options available. Standard 0-10V dimming. Fixture provided with integral 10kV surge protection that meets IEEE C62.42.2-2002. Built-in Active PFC Function. LED Power Supply conforms to UL1310 Class 2 and UL8750 standards and is IP67 rated for wet locations.

MOUNTING — The fixture is designed to mount directly to a square pole. An adaptor is available for direct mount to round poles. Techlight's Quick Mount Bracket for flush mount or the Quick Mount Bracket with various arm lengths also available. All mounting options allow the Tapered Back Saber to mount at 90 degree intervals.

LISTINGS — LED Power Supply listed for wet locations (IP67). LED bricks ETL listed for wet locations (IP64). Meets US and Canadian safety standards. -40°C to 50°C ambient operation. RoHS Compliant.

WARRANTY — The complete luminaire is covered by a 5-year limited warranty.

ORDERING INFORMATION

Example: **LSBT6C8T5WD1-BZ QMB**
(NOTE: QMB Must Be Ordered Separately)

Choose the solid base options for the appropriate luminaire configuration for your application and enter on the line above each fixture attribute. Accessories may be factory installed, depending on the particular accessory/fixture, but still be ordered as a separate line item.

LSBT

Series	# of Bricks	Color Temp	# LED's per Brick	Optics	Drive Current	Voltage	Options	Finish
LSBT	1 1 Brick 2 2 Brick 3 3 Brick 4 4 Brick 5 5 Brick 6 6 Brick	C Cool White (5000K) N Neutral White (4100K)	8 18 LED	T2 Type II T3 Type III T4 Type IV T4A Type IV Automotive T5M Type V Medium T5W Type V Wide	C 700mA Driver D 1050mA Driver F 1400mA Driver	1 Multi-Volt* 2 480V 3 347V	L Left Rotated Optics R Right Rotated Optics (Leave Blank for standard optics)	BK Black BZ Bronze GR US Green WH White SP Special#

Accessories (Order as separate line items)

LEDEDI0-320	DIM Lumen DI Mode Battery Back-Up	(Lenses Ordered Separately)
QMB	Quick Mount Bracket - Rudy, Tec Arm	Remote Handheld Sensor Configuration Tool
QMSSA-S	Quick Mount Bracket with 2" Straight Arm	TLWSFSIR-100 Remote Handheld Sensor
QMSSA-L	Quick Mount Bracket with 4" Straight Arm	TLWSFSF-L3 360° lens, maximum coverage 40' diameter from 31' height
QMSSA	Quick Mount Bracket with 10.75" Straight Arm	TLWSFSF-L4 360° lens, maximum coverage 50' diameter from 40' height
RPMSSA	Round Pole Mount Adapter for Direct Mounting	TLWSFSF-L4 360° lens, maximum coverage 60' diameter from 47' height
IP67*	Additional IP67 Fixture Rating	TLWSFSF-L7 360° lens, maximum coverage 110' diameter from 48' height
LEDOPTIC-W	Wall Light Generator	PPCR3U 7-Pin Twist Lock Photocell Receptacle ANSI C136.41
TLWSFSP-W	Wall Light Photocell "Black Out"	PTL-IP-777 7-Pin Receptacle Shorting Cap
TLWSFSP-214	Fixture Mount Passive Infrared Motion Sensor	PC4 Photocell - Twist Lock
		PC8 Multi-Tap (105-285V) Twist Lock Photocell

1 Multi-Volt is an auto-ranging power supply from 90V to 300V input.
2 Custom RAL color matching is available. Contact your Techlight sale representative for additional information.
3 Additional IP66 rating may not be changed once production has begun on the fixture.

www.techlightusa.com

All dimensions and specifications are subject to change without notice.

REV: 20170203-05

LIGHT FIXTURE "A" "B" & "D" DETAIL

3

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2303, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: Z-19159

TITLE:

LIGHTING DETAILS

DRAWING:

C-8

Z:\PRACTICE\2019\Z-19159 DGL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\LDP-08-PPL\LIGHT.DWG

STANDARD FOR TOPSOILING

METHODS AND MATERIALS

1. MATERIALS

   A. TOPSOIL SHOULD BE FRIABLE,, LOAMY,, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE BAISED BY ADDITIVES.

   B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.

2. STRIPPING AND STOCKPILING

   A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
   B. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
   C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
   D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
   E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
   F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN; SEE STANDARDS FOR PERMANENT (PG. 4-1) OR TEMPORARY (PG.7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.

2. SITE PREPARATION

   A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE
   B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE.
      SEE THE STANDARD FOR LAND GRADING, PG. 19-1.
   C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
   D. PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PG. 19-1.
   E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

3. APPLYING TOPSOIL

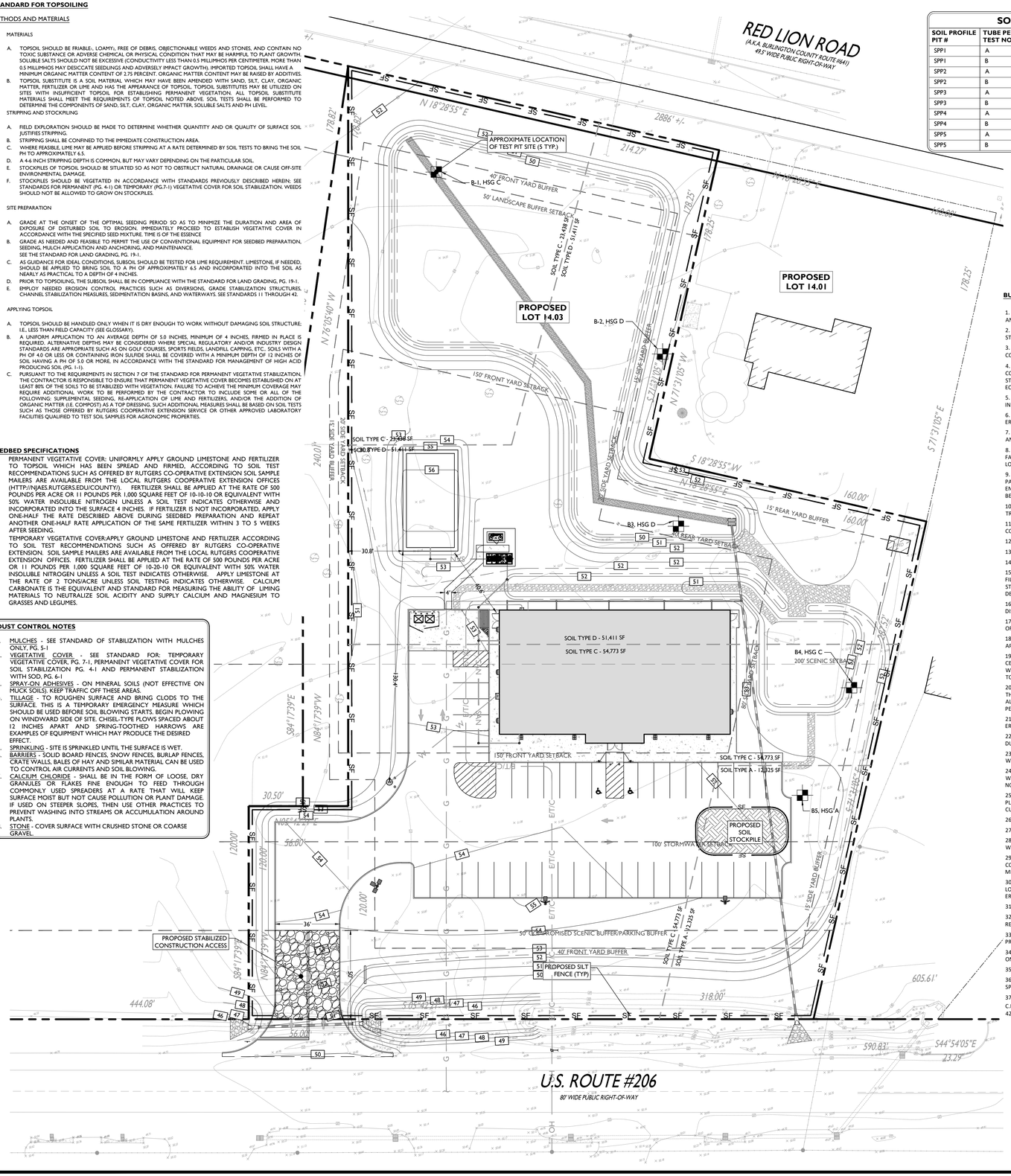
   A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; I.E., LESS THAN FIELD CAPACITY (SEE GLOSSARY).
   B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING, ETC.. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL (PG. 1-1).
   C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

SEEDBED SPECIFICATIONS

1. PERMANENT VEGETATIVE COVER: UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
2. TEMPORARY VEGETATIVE COVER:APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
3.

DUST CONTROL NOTES

1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
2. VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
3. SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
4. TILLAGE - TO ROUGHEN SURFACEL AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
7. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
8. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL



SOIL PROFILE PIT AND PERMEABILITY TESTS SUMMARY

SOIL PROFILE PIT #	TUBE PERMEAMETER TEST NO.	TEST DEPTH (FT)	STRATUM	PERMEABILITY CLASS	PERMEABILITY RATE (IN/HR)	DEPTH TO GROUNDWATER (FT)
SPP1	A	2.33	LOAMY SAND	K2	1.16	
SPP1	B	2.33	LOAMY SAND	K1	0.26	7.40
SPP2	A	2.83	SANDY LOAM	K0	0.18	
SPP2	B	2.83	SANDY LOAM	K0	0.02	7.00
SPP3	A	2.25	SANDY LOAM	K0	0.04	
SPP3	B	2.25	SANDY LOAM	K0	0.18	5.00
SPP4	A	1.58	SANDY LOAM	K1	0.28	
SPP4	B	1.58	SANDY LOAM	K2	0.71	7.00
SPP5	A	1.92	SAND	K3	4.32	
SPP5	B	1.92	SAND	K4	7.10	9.00

HYDROLOGIC SOIL GROUP BASED ON LOWEST PERMEABILITY RATE

SOIL PROFILE PIT #	HYDROLOGIC SOIL GROUP BASED ON NRCS SOIL SURVEY	PRELIMINARY HYDROLOGIC SOIL GROUP BASED ON NJ STORMWATER BPH MANUAL
SPP1	HSG A	HSG C
SPP2	HSG A	HSG D
SPP3	HSG A	HSG D
SPP4	HSG B/D	HSG C
SPP5	HSG B/D	HSGA

BURLINGTON COUNTY NOTES:

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE STANDARDS. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE STANDARDS.
5. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH IN ACCORDANCE WITH THE STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
8. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHOULD BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. PROPOSED LOCATIONS MUST BE DELINEATED ON THE PLANS.
9. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE RIP RAP PAD MUST BE 100 FEET IN LENGTH AND THE STONE MUST BE 1.5" - 4" IN SIZE, PLACED 12" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED. THE STRUCTURE MUST BE DELINEATED AND DETAILED ON THE PLANS.
10. IF A STONE CONSTRUCTION ACCESS IS TO BE USED AS AN EXIT ONTO A MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED TRANSITION AREA SHALL BE INSTALLED.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 ½" CRUSHED STONE OR SUB BASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETAILS APPEAR ON PLAN).
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. FIELD PLACEMENT AND USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICT EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
16. THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
17. SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
18. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION RATES AT THE REQUEST OF THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT.
19. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY IS ISSUED BEFORE ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
20. NJSA 4:24-39, ET SEQ. REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.
21. OFF-SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE DISTRICT EROSION CONTROL INSPECTOR.
22. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
23. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ALL SUBSEQUENT OWNERS.
24. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING TOPSOIL, THE STOCKPILE SHALL BE SEEDED WITH TEMPORARY VEGETATION. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE ESTABLISHMENT OF TEMPORARY SEED.
25. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1.
27. THE DISTRICT EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL MEASURES TO BE INSTALLED.
28. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING. SEE DETAILS.
29. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL COMPACTION MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARD FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.
30. THE RESPONSIBILITY FOR EROSION CONTROLS FOR INDIVIDUAL LOTS WILL TRANSFER TO SUBSEQUENT OWNERS OF THE LOT. THIS RESPONSIBILITY WILL BE DESCRIBED IN THE DEED, AND A SINGLE FAMILY HOME PLAN CONTAINING ALL NECESSARY EROSION CONTROLS WILL BE PROVIDED TO THE OWNER.
31. CONCRETE TRUCK WASHOUT AREAS WILL BE MAINTAINED ON A CONTINUAL BASIS AND AS NEEDED.
32. THE STORMWATER POLLUTION PREVENTION PLAN AND THE SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE FOR REVIEW BY THE SCD INSPECTOR AND/OR THE NJDEP INSPECTOR.
33. THE SCD INSPECTOR OR NJDEP INSPECTOR MAY REQUIRE ADDITIONAL MEASURES FOR STORMWATER POLLUTION PREVENTION TO BE INSTALLED.
34. INSPECTIONS OF ALL STORMWATER POLLUTION PREVENTION PLAN MEASURES WILL BE CONDUCTED AND DOCUMENTED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
35. WASTE COLLECTION CONTAINERS WILL NOT BE PERMITTED TO OVERFLOW.
36. ANY SPILLS OF HAZARDOUS OR SANITARY WASTES WILL BE CLEANED UP IMMEDIATELY, AND IN ACCORDANCE WITH THE SPILL RESPONSE PLAN. SPILL KITS MUST BE AVAILABLE ONSITE OR ADJACENT TO THE SITE.
37. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110, 117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED THE NATIONAL RESPONSE CENTER (800 424-8802).

811

Know what's **below**
Call before you dig.

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
LOD	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TPF	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	GALLOWAY SAND (GahB)
PERCENT OF SITE COVERAGE	46.24%
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	6.00 TO 20.00 IN / HR
DEPTH TO WATER TABLE	18 TO 42 INCHES
TYPE OF SOIL	JADE RUN (JdrA)
PERCENT OF SITE COVERAGE	53.76%
HYDROLOGIC SOIL GROUP	B/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.60 TO 6.00 IN / HR
DEPTH TO WATER TABLE	0 TO 12 INCHES

SEQUENCE OF CONSTRUCTION

1. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE (2 DAYS).
2. DEMOLISH EXISTING PAVEMENT AND GRAVEL (7 DAYS).
3. ROUGH GRADING AND TEMPORARY SEEDING (21 DAYS).
4. EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (30 DAYS).
5. INSTALL INLET FILTERS (1 DAY).
6. BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (120 DAYS).
7. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
8. REMOVE SOIL EROSION MEASURES (1 DAY).

NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUILE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY

STABILIZATION SPECIFICATIONS:

I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS: PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION)
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design
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Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2203, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

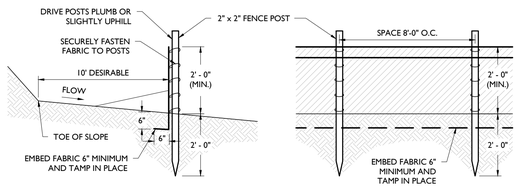
STONEFIELD engineering & design

SCALE: 1" = 30' | PROJECT ID: Z-19159

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING: **C-9**

Z:\PROJECT\Z\Z0\19\Z-19159 DAL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\SDP-10_11-SESC.DWG

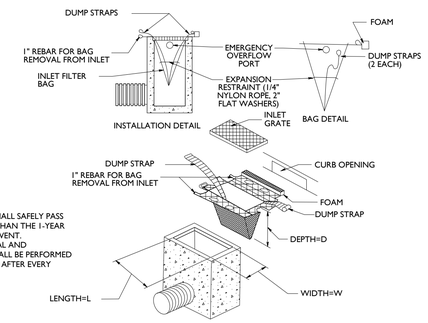


NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

1

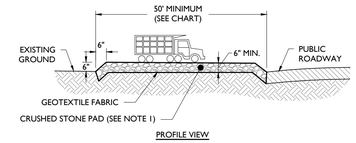


NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

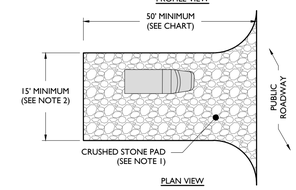
INLET FILTER BAG DETAIL

NOT TO SCALE

2



SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

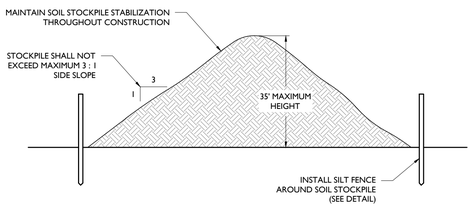


NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

3

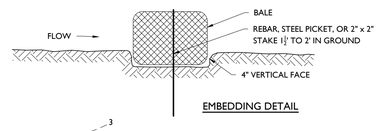


NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

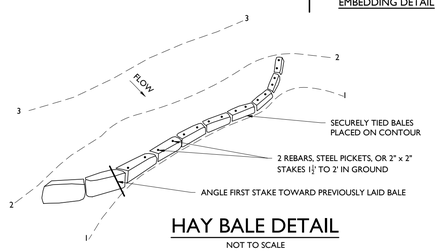
SOIL STOCKPILE DETAIL

NOT TO SCALE

4



EMBEDDING DETAIL



HAY BALE DETAIL

NOT TO SCALE

5

SOIL DE-COMPACTION AND TESTING REQUIREMENTS
SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS **PRIOR TO THE APPLICATION OF TOPSOIL** (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE **GRAPHICALLY DENOTED** ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. **COMPACTION TESTING LOCATIONS** ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

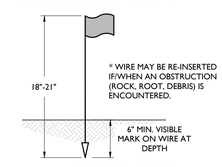
1. NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
2. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION **PRIOR TO PLACEMENT OF TOPSOIL** AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. **RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH)** WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

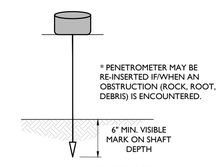
RECORD DEPTH OF PENETRATION WHEN WIRE DEFORMS; MINIMUM DEPTH OF 6" TO PASS TEST. EITHER PREMEDITATE OR PERFORM THE NEXT TEST.



PROBING WIRE TEST
15.5 GA. STEEL WIRE (SURVEY FLAG)

NOT TO SCALE

NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6"



HANDHELD SOIL PENETROMETER TEST

NOT TO SCALE

6

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2202, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: Z-19159

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS

DRAWING:
C-10

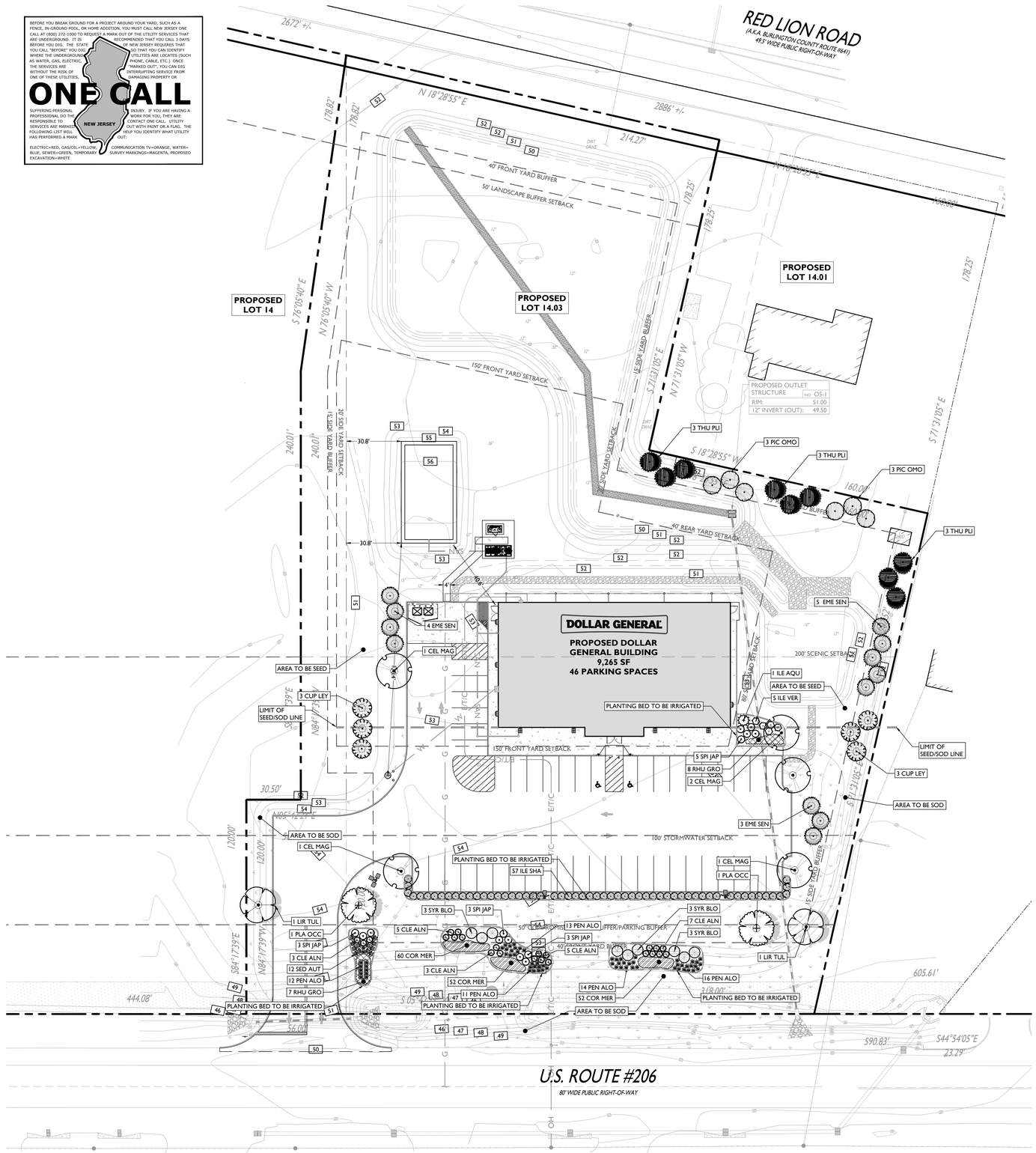
Z:\PROJECTS\2019\Z-19159 DAL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON_SK\CADD\ROTOR 15_11 USEC.DWG

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE" YOU DIG SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE THE SERVICES ARE "MARKED OUT", YOU CAN DIG WITHOUT THE RISK OF INTERRUPTING SERVICE FROM ONE OF THESE UTILITIES. DAMAGING PROPERTY OR SUFFERING PERSONAL INJURY. IF YOU ARE HAVING A PROFESSIONAL DO THE WORK FOR YOU, THEY ARE RESPONSIBLE TO CONTACT ONE CALL. UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE FOLLOWING LIST WILL HELP YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK OUT:

ONE CALL

NEW JERSEY

ELECTRIC=RED, GAS/OIL=YELLOW, COMMUNICATION TV=ORANGE, WATER=BLUE, SEWER=GREEN, TEMPORARY SURVEY MARKINGS=MAGENTA, PROPOSED EXCAVATION=WHITE



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CEL MAG	5	CELTIS OCCIDENTALIS `MAGNIFICA'	MAGNIFICA HACKBERRY	2.5" - 3" CAL	B&B	AS SHOWN
	LIR TUL	2	LIRIODENDRON TULIPIFERA	TULIPTREE	2.5" - 3" CAL	B&B	AS SHOWN
	PLA OCC	2	PLANTUS OCCIDENTALIS	AMERICAN SYCAMORE	2.5" - 3" CAL	B&B	AS SHOWN
EVERGREEN TREES							
	EME SEN	12	EMERALD SENTINEL	EASTERN RED CEDAR	6' - 7' HT	B&B	AS SHOWN
	ILE AQU	1	ILEX X AQUIPERNYI 'MESHICK'	DRAGON LADY HOLLY	6' - 7' HT	B&B	AS SHOWN
	PIC OMO	6	PICEA OMORIKA	SERBIAN SPRUCE	6' - 7' HT	B&B	AS SHOWN
	CUP LEY	6	CUPROCYPARIS LEYLANDII	LAYLAND CYPRESS	6' - 7' HT	B&B	AS SHOWN
	THU PLI	6	THUJA X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' - 7' HT	B&B	AS SHOWN
DECIDUOUS SHRUBS							
	CLE ALN	23	CLETHRA ALNIFOLIA	SWEET PEPPER BUSH	18"-24"	CONT.	AS SHOWN
	ILE VER	5	ILEX VERTICILLATA ' RED SPRITE'	WINTERBERRY	24" - 30"	B&B	AS SHOWN
	SPI JAP	14	SPIREA JAPONICA	GOLD MOUNT SPIREA	18"-24"	CONT.	AS SHOWN
	SYR BLO	9	SYRINGA 'BLOOMERANG'	LILIAC	24" - 30"	CONT.	AS SHOWN
EVERGREEN SHRUBS							
	ILE SHA	57	ILEX GLABRA `SHAMROCK'	INKBERRY	18" - 24"	B&B	AS SHOWN
GRASSES							
	PEN ALO	66	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN GRASS	3 GAL.	CONT.	AS SHOWN
PERENNIALS							
	SED AUT	12	SEDUM 'AUTUMN JOY'	STONECROP	1 GAL.	CONT.	AS SHOWN
SHRUB AREAS							
	COR MER	164	COREOPSIS 'MERCURY RISING'	TICKSEED	1 GAL.	CONT.	18" O.C.
	RHU GRO	15	RHUS AROMATICA `GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL.	CONT.	42" O.C.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING, SCENIC CORRIDOR, AND BUFFER REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 12-3.14.c(2)(a) SCENIC CORRIDOR OVERLAY	NO BUILDINGS, STRUCTURES, PARKING FACILITIES, OR OTHER DEVELOPMENT SHALL BE ALLOWED WITHIN THE SETBACK AREA, EXCEPT FOR THE FOLLOWING: SIDEWALKS, BICYCLE PATHS, PEDESTRIAN TRAILS, LANDSCAPING, UNDERGROUND UTILITIES, DRIVEWAY ACCESS, GROUND MOUNTED POLE OR OTHER LIGHTING.	DOES NOT COMPLY (V)
§ 12-3.14.c(2)(b)[2] SCENIC CORRIDOR OVERLAY	COMPROMISED/HIGH ACTIVITY/COMMERCIAL LANDSCAPE. AN ADEQUATE AMOUNT OF BUFFER PLANTINGS AND SCREENINGS IN ACCORDANCE WITH SUBSECTION 12-5.2 OF THE TOWNSHIP CODE SHALL BE PROVIDED.	SCENIC CORRIDOR PLANTINGS PROPOSED
§ 12-3.14.c(2)(c)[1] SCENIC CORRIDOR OVERLAY	NO MORE THAN ONE STREET ACCESS DRIVEWAY CUT SHALL BE PERMITTED PER LOT.	COMPLIES
§ 12-3.6.f(12) GENERAL REQUIREMENTS	PAVED PARKING AREAS SHALL PROVIDE LANDSCAPED PLANTING STRIPS, PARTICULARLY AT THE ENDS OF PARKING ROWS. AREAS SHALL CONTAIN 2.5" CALIPER SHADE TREE	COMPLIES
§ 12-5.2.a BUFFERS AND SCENIC CORRIDORS	NO STRUCTURE, ACTIVITY, STORAGE OF MATERIALS, DRAINAGE BASINS, OR PARKING OF VEHICLES SHALL BE PERMITTED IN THE BUFFER AREA	DOES NOT COMPLY (V)
§ 12-5.2.b BUFFERS AND SCENIC CORRIDORS	EVERGREEN TREES MINIMUM HEIGHT AT PLANTING 6 FT	COMPLIES
§ 12-5.2.d(2) BUFFERS AND SCENIC CORRIDORS	SHRUBS AND HEDGES SHALL BE 3 FT IN HEIGHT AT PLANTING AND BLOCK THE GLARE OF AUTOMOBILE HEADLIGHTS	COMPLIES
§ 12-5.2.d(3) BUFFERS AND SCENIC CORRIDORS	DECIDUOUS TREES SHALL BE AT LEAST 2.5" IN CALIPER	COMPLIES
§ 12-5.7.a(3) LANDSCAPING AND STREET TREES	STREET TREES MINIMUM 40 FT ON CENTER. MAY BE PLANTED IN AN INFORMAL ARRANGEMENT [US ROUTE 206: 318 LF /40 = 8 TREES REQUIRED] [RED LION ROAD: 214 LF/40 = 6 TREES REQUIRED]	ROUT 206: 6 TREES PROPOSED (V) RED LION ROAD: EXISTING VEGETATION TO REMAIN
§ 12-5.7.a(4) LANDSCAPING AND STREET TREES	STREET TREES SHALL BE PLANTED BETWEEN THE CURB AND THE SIDEWALK. THE PLANTING BED SHALL BE AT LEAST 8 FEET IN WIDTH, IF NOT A POLYURETHANE ROOT BARRIER SHALL BE INSTALLED.	NO SIDEWALK PROPOSED
§ 12-5.7.b(1) LANDSCAPING AND STREET TREES	NATIVE PLANT MATERIAL IS UTILIZED	COMPLIES
§ 12-5.10.e OFF-STREET PARKING AND LOADING	PARKING AREAS FOR SIX OR MORE VEHICLES AND LOADING AREAS FOR NONRESIDENTIAL USES SHALL BE BUFFERED FROM ADJOINING STREETS AND RESIDENTIAL USES AND SHALL MEET THE STANDARDS OF SUBSECTION 12-5.2.	DOES NOT COMPLY (V)
§ 12-5.10.h OFF-STREET PARKING AND LOADING	1 TREE FOR EVERY 10 PARKING SPACES [46 PARKING SPACES = 5 REQUIRED TREES]	5 TREES PROPOSED

(V) VARIANCE

GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design
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Princeton, NJ · Tampa, FL · Detroit, MI
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15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2303, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' PROJECT ID: Z-19159

TITLE:

LANDSCAPING PLAN

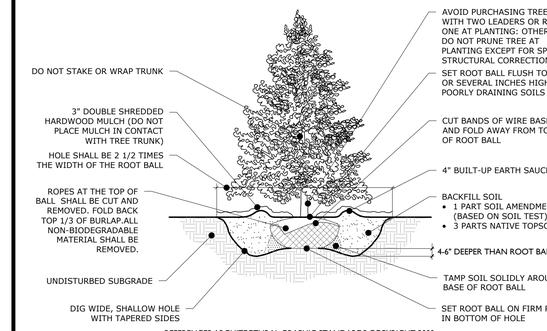
DRAWING:

C-11

Z:\PROJECTS\Z-19159 DOLLAR GENERAL\SOUTHAMPTON, NJ\CADD\PLOT\DP-L2_L3-LANDSCAPE.DWG

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

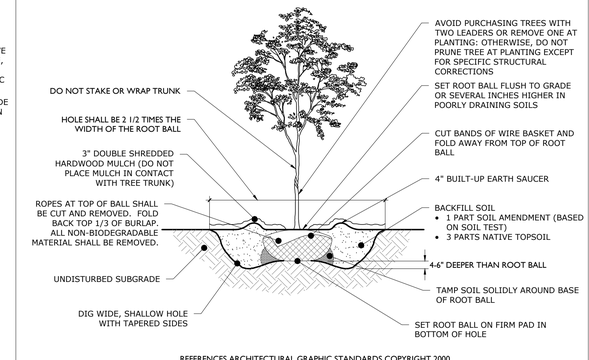
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

1

NOTES:

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

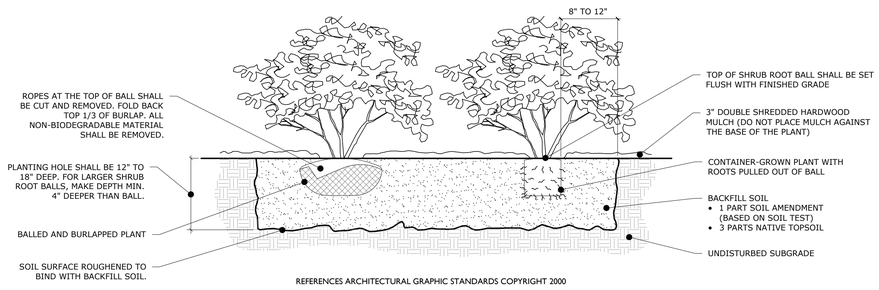
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

2

NOTES:

1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL



REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

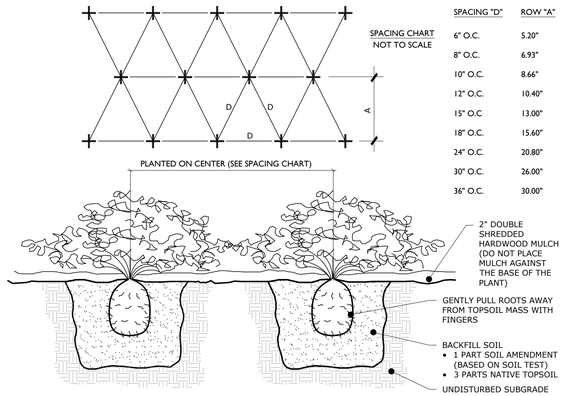
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

3

NOTES:

1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
   - MODIFY HEAVY CLAY OR SILT SOILDS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
   - MODIFY EXTREMELY SANDY SOILDS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



SPACING "D"	ROW "A"
6" O.C.	5.20"
8" O.C.	6.93"
10" O.C.	8.66"
12" O.C.	10.40"
15" O.C.	13.00"
18" O.C.	15.60"
24" O.C.	20.80"
30" O.C.	26.00"
36" O.C.	30.00"

GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

4

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH .
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
   - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
   - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
   - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
   - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
   - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN MORE THAN 6% ORGANIC MATTER BY WEIGHT.
5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
- MYCO® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
- FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

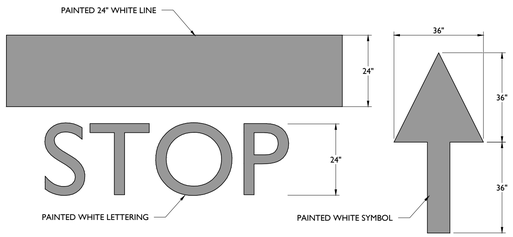
HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL. EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

PLANT QUALITY AND HANDLING NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
4. PLANTS SHALL MUST BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR ALGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TEQUSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
    PLANTS (MARCH 15 - DECEMBER 15)
    LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

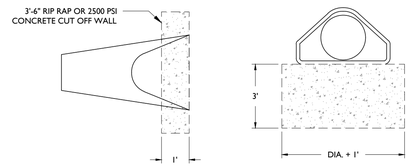
ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
CARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILE



STOP BAR & ARROW DETAILS

NOT TO SCALE

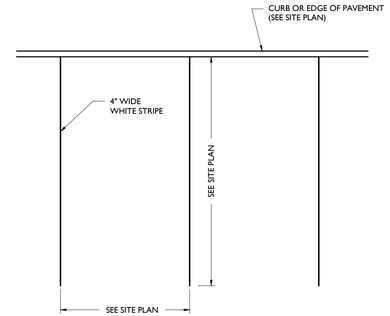
1



FLARED END SECTION DETAIL

NOT TO SCALE

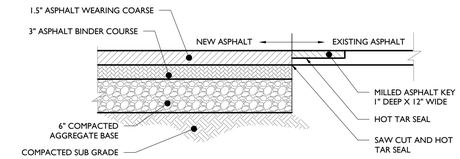
2



PARKING STALL MARKINGS

NOT TO SCALE

3

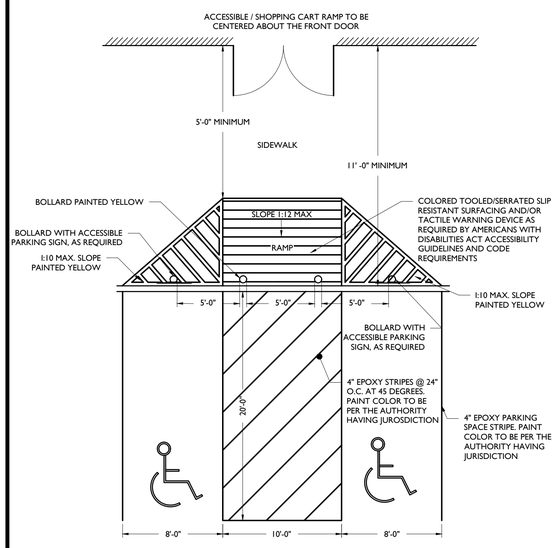


HEAVY DUTY ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

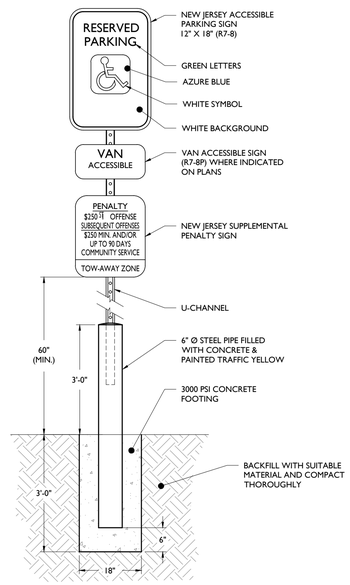
4



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

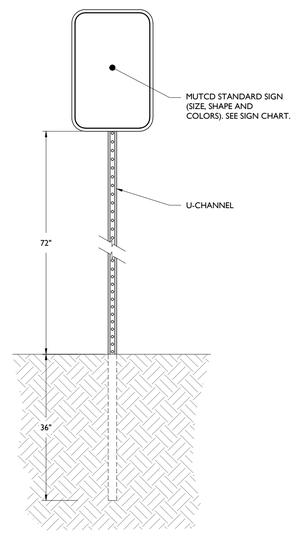
5



ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL

NOT TO SCALE

6



SIGN POST DETAIL

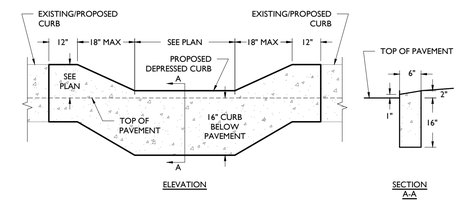
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	RED	WHITE	36"x36"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

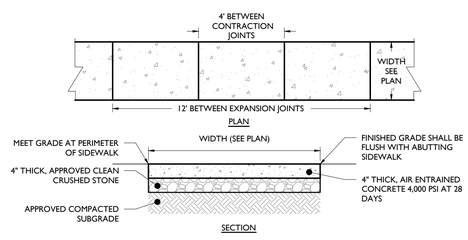
7



DEPRESSED CURB DETAIL

NOT TO SCALE

8

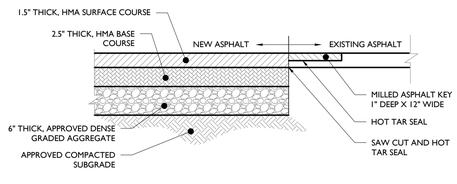


CONCRETE WALKWAY DETAIL

NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE ¼" PER FOOT.
2. ½" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ½" FROM THE SURFACE.
3. 1" DEEP BY ½" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOIN SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

9

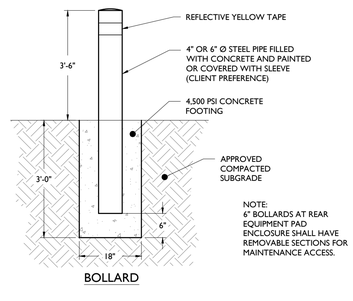


LIGHT DUTY ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

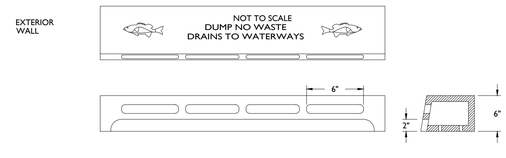
10



BOLLARD

NOTE:
6" BOLLARDS AT REAR EQUIPMENT PAD ENCLOSURE SHALL HAVE REMOVABLE SECTIONS FOR MAINTENANCE ACCESS.

11

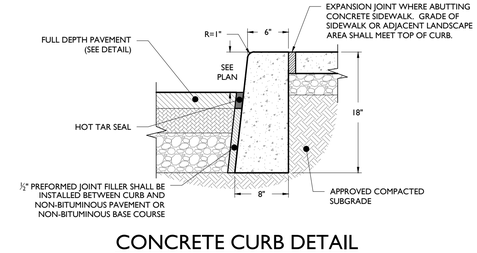


NON-MOUNTABLE TYPE "N" ECO-CURB PHASE II STORM WATER COMPLIANT

NOT TO SCALE

NOTE:
1. MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL

12



CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED ½" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

13

Z:\PROJECTS\2019\Z-19159 DBL DEVELOPMENT - 1823 ROUTE 206, SOUTHAMPTON, NJ\CADD\PLOT\LP-14_14-SITE1.DWG

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2202, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

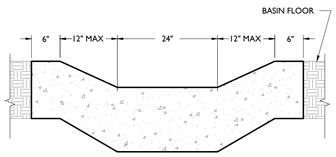
SCALE: AS SHOWN | PROJECT ID: Z-19159

TITLE:

CONSTRUCTION DETAILS

DRAWING:

C-13

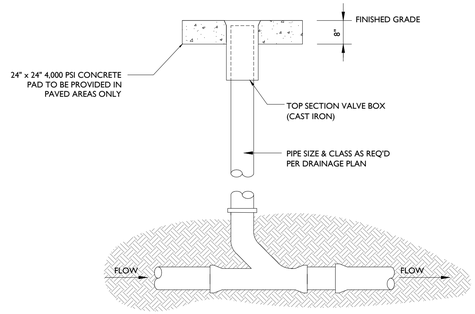


ELEVATION

LOW-FLOW CHANNEL

NOT TO SCALE

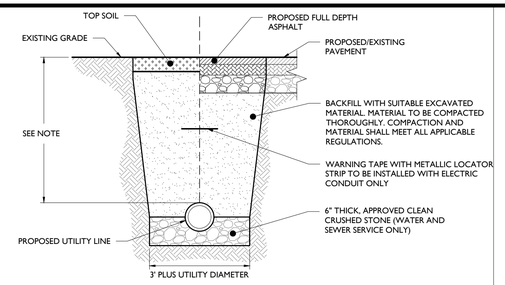
1



CLEAN-OUT

NOT TO SCALE

2



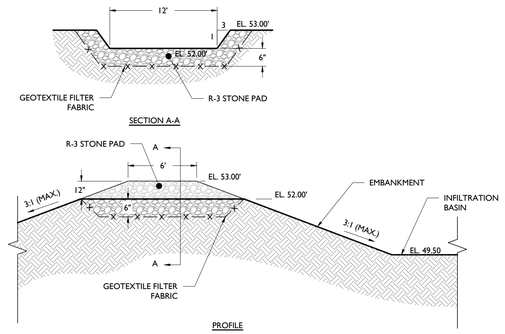
UTILITY TRENCH DETAIL

NOT TO SCALE

NOTE:

MINIMUM PIPE COVER SHALL BE AS FOLLOW:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
- GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
- SEWER SERVICE - 36" MINIMUM
- WATER SERVICE - 48" MINIMUM

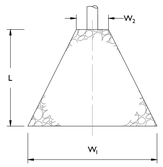
3

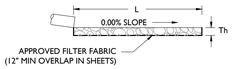


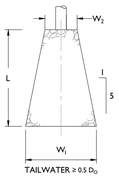
EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

4







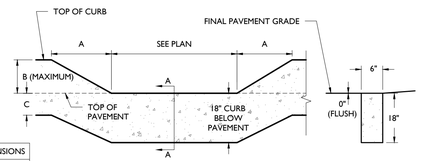
RIP-RAP SIZING CHART					
FES #	L (ft)	W_1 (ft)	W_2 (ft)	D_{50} (in)	Th* (in)
1	10.0	15.0	4.0	6.0	12.0
2	11.0	15.0	3.0	6.0	12.0
3	14.0	18.0	3.0	6.0	12.0
4	14.0	16.0	5.0	6.0	12.0

(*) = MINIMUM APRON THICKNESS SHALL BE TWO TIMES THE D_{50} SIZE FOR THE APRON.

RIP-RAP PAD

NOT TO SCALE

5

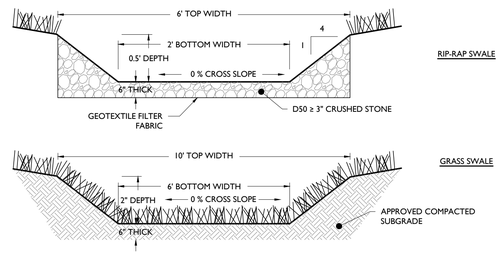


FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"

FLUSH CURB DETAIL

NOT TO SCALE

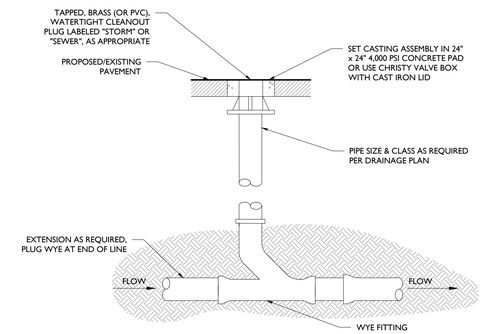
6



RIP-RAP AND SWALE DETAILS

NOT TO SCALE

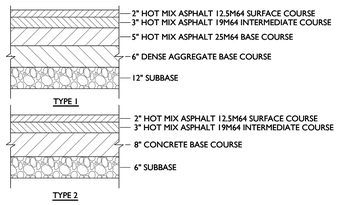
7



HARDSCAPE CLEAN-OUT

NOT TO SCALE

8



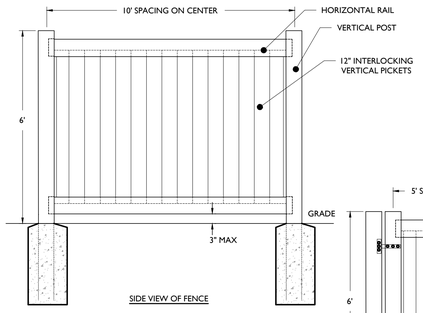
NJDOT PAVEMENT SECTION AND REPAIR STRIP DETAIL

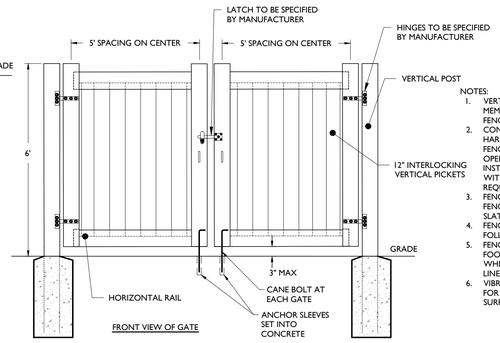
(FOR USE WITHIN NJDOT ROW)

NOT TO SCALE

NOTES:
1. FOR AREAS 5.0 FEET OR MORE IN WIDTH, USE TYPE 1.
2. FOR AREAS LESS THAN 5.0 FEET IN WIDTH WHEN PROPER ASPHALT COMPACTION IS NOT POSSIBLE, USE TYPE 2.
3. IF PAVEMENT CONSTRUCTION ENCROACHES ON EXISTING TRAVEL LANES, THE ENTIRE LANE SHALL BE MILLED AND RESURFACED.
4. FOR MILLING AND RESURFACING, USE HOT MIX ASPHALT 12.5 ME SURFACE COURSE, 2" THICK.
5. SAW CUT PAVEMENT PRIOR TO EXCAVATION.
6. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL DENSE GRADED AGGREGATE BASE COARSE.
7. UNIFORMLY SPRAY TACK COAT WHEN PLACING HOT MIX ASPHALT ON PAVED SURFACE.
8. USE POLYMERIZED JOINT ADHESIVE FOR LONGITUDINAL JOINT OF THE NEW SURFACE COARSE WITH EXISTING HOT MIX ASPHALT, CURB, OR ANY VERTICAL SURFACE ALONG THE NEW SURFACE.
9. EXISTING CONCRETE PAVEMENT SHOULD BE REPAIRED IN KIND FOR FULL WIDTH OF LANE IN ACCORDANCE WITH THE STANDARD DETAIL CD-453.
10. DENSE GRADED AGGREGATE BASE COARSE AND SUBBASE SHOULD EXTEND A MINIMUM OF 3" BEYOND THE OUTER EDGE OF THE PROPOSED CURB.
11. REPAIR ANY ASPHALT PAVEMENTS, WHICH EXHIBIT HIGH SEVERITY CRACKING, POTHOLES, OR OTHER DAMAGE IN ACCORDANCE WITH 401.03.01.D OF 2007 NJDOT SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION (ITEM NO. 401021M).
12. IF ANY PAVEMENT CONSTRUCTION (WIDENING, NEW/RESETTING CURB ETC.) ENCROACH AN EXISTING TRAVEL LANE, THEN MILL 2" OF EXISTING PAVEMENT AND RESURFACE WITH 2" THICK HOT MIX ASPHALT 12.5ME SURFACE COURSE THE FULL WIDTH OF THAT TRAVEL LANE ALONG NEW CONSTRUCTION WITHOUT ANY JOINTS.
13. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUBBASE WHERE THE WATER TABLE IS NOT ENCOUNTERED WITHIN THE DEPTH OF EXCAVATION.
14. SHOULD THE EXISTING CORE THICKNESS SHOW ASPHALT DEPTH LESS THAN 8", THIS PAVEMENT SECTION SHALL BE USED.
15. CONTRACTOR TO EXCAVATE AND REPLACE ANY UNSTABLE MATERIAL WITH SUBBASE.

9



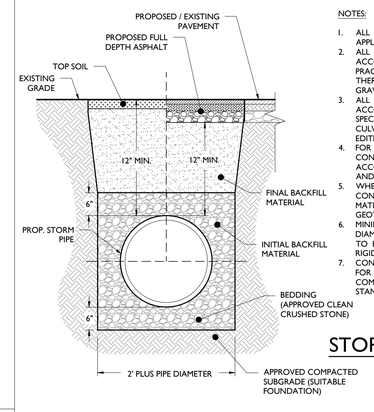


NOTES:
1. VERTICAL AND HORIZONTAL MEMBER TO BE SPECIFIED BY FENCING MANUFACTURER.
2. CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY FOR FENCE CONSTRUCTION AND OPERATION, PER SITE DESIGN. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.
3. FENCE DETAIL ONLY APPLIES TO FENCE WITHOUT PRIVACY SLATS.
4. FENCE TO BE INSTALLED FOLLOWING SITE GRADING.
5. FENCE TO BE INSTALLED ONE FOOT WITHIN PROPERTY LINE WHERE SHOWN ON PROPERTY LINE ON SITE PLAN.
6. VIBRATE OR TAMP BACKFILL FOR CONSOLIDATION SURROUNDING FENCE POSTS.

WHITE VINYL FENCE TRASH ENCLOSURE DETAIL

NOT TO SCALE

10

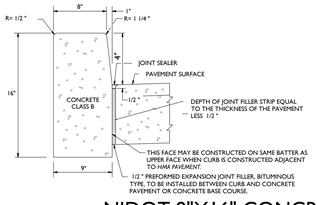


NOTES:
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
4. FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
6. MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
7. CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

STORM TRENCH DETAIL

NOT TO SCALE

11



NOTES:
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

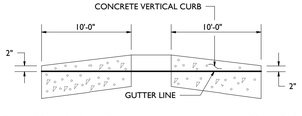
EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

NJDOT 9"X16" CONCRETE / WHITE CONCRETE VERTICAL CURB

(FOR USE WITHIN NJDOT ROW)

NOT TO SCALE

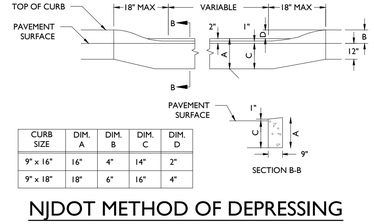
12



NJDOT CURB TREATMENT AT CURB END

(FOR USE WITHIN NJDOT ROW)

13



CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" x 16"	16"	4"	14"	2"
9" x 18"	18"	6"	16"	4"

NJDOT METHOD OF DEPRESSING CURB AT DRIVEWAYS

(FOR USE WITHIN NJDOT ROW)

NOT TO SCALE

14

ISSUE	DATE	BY	DESCRIPTION
4	11/11/2020	OK	FOR MUNICIPAL MEETING
3	09/15/2020	OK	PER COUNTY RESUBMISSION
2	09/10/2020	OK	PER CLIENT COMMENTS
1	08/14/2020	JMK	FOR MUNICIPAL SUBMISSION

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www.stonefieldeng.com
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PRELIMINARY & FINAL MAJOR SITE PLAN/MINOR SUBDIVISION PLAN SET

DOLLAR GENERAL

PROPOSED DOLLAR GENERAL

BLOCK 2202, LOT 14
1823 ROUTE 206
SOUTHAMPTON TOWNSHIP
BURLINGTON COUNTY, NEW JERSEY

PAUL D. MUTCH Jr., P.E.
NEW JERSEY LICENSE No. 55094
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: AS SHOWN | PROJECT ID: Z-19159

TITLE: CONSTRUCTION DETAILS

DRAWING: C-14

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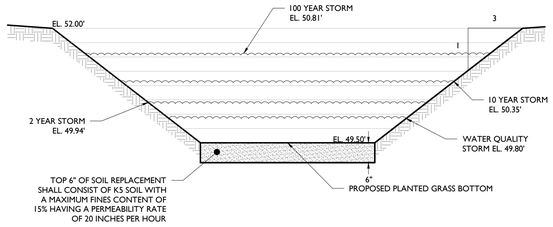
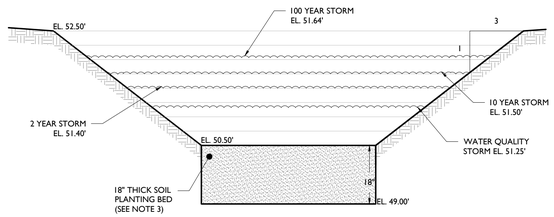


DETENTION BASIN DETAIL

NOT TO SCALE

NOTES:
1. BIORETENTION AREA CONSTRUCTION MUST NOT COMPACT SOILS BELLOW SOIL BED BOTTOM.
2. THE PLANTING SOIL BED SHALL CONSIST OF THE FOLLOWING MIX: 85%-95% SANDS WITH <25% OF THE SANDS CLASSIFIED AS FINE OR VERY FINE, <15% SILT AND CLAY WITH 2%-5% CLAY CONTENT. THE MIX SHALL BE AMENDED WITH 5%-7% ORGANICS. pH LEVELS SHALL RANGE FROM 5.5 TO 6.5. THE SOIL MIX MUST BE CERTIFIED BY EITHER THE VENDOR OR A LICENSED PROFESSIONAL ENGINEER DURING ONSITE MIXING.
3. THE PLANTING SOIL BED SHALL BE PLACED IN 12" TO 18" LIFTS.
4. REFER TO THE LANDSCAPING PLANS FOR BIORETENTION AREA PLANTINGS.

1

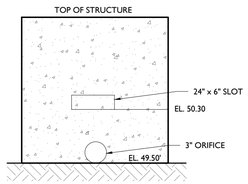


INFILTRATION BASIN DETAIL

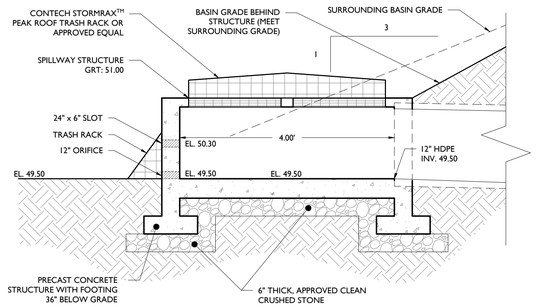
NOT TO SCALE

NOTES:
1. BIORETENTION AREA CONSTRUCTION MUST NOT COMPACT SOILS BELLOW SOIL BED BOTTOM.
2. THE PLANTING SOIL BED SHALL CONSIST OF THE FOLLOWING MIX: 85%-95% SANDS WITH <25% OF THE SANDS CLASSIFIED AS FINE OR VERY FINE, <15% SILT AND CLAY WITH 2%-5% CLAY CONTENT. THE MIX SHALL BE AMENDED WITH 5%-7% ORGANICS. pH LEVELS SHALL RANGE FROM 5.5 TO 6.5. THE SOIL MIX MUST BE CERTIFIED BY EITHER THE VENDOR OR A LICENSED PROFESSIONAL ENGINEER DURING ONSITE MIXING.
3. THE PLANTING SOIL BED SHALL BE PLACED IN 12" TO 18" LIFTS.
4. REFER TO THE LANDSCAPING PLANS FOR BIORETENTION AREA PLANTINGS.

2



CROSS SECTION

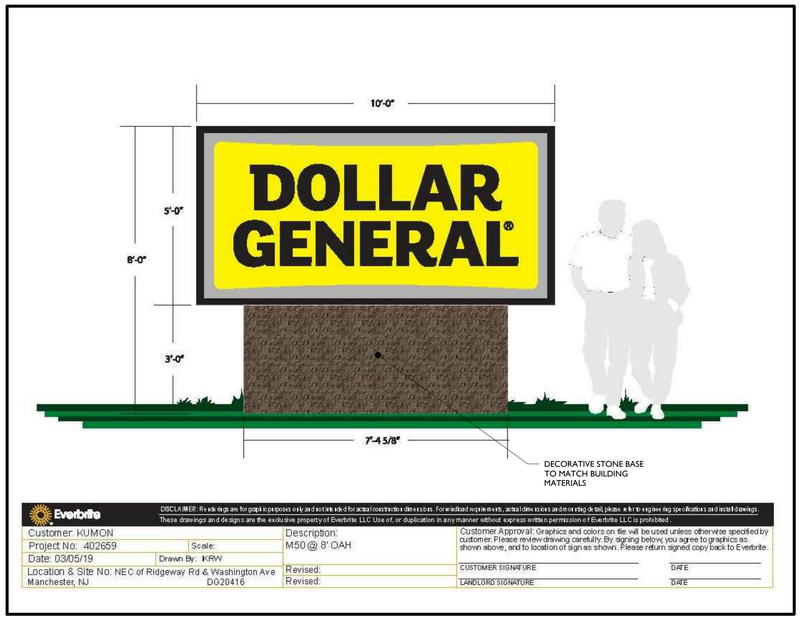


NOTE:
1. STRUCTURE SHALL SUPPORT H25 LOADING.
2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
3. ALL JOINTS TO BE WATER-TIGHT.
4. TRASH RACKS CONSTRUCTED OF NON-CORROSIVE MATERIALS TO BE PROVIDED

ABOVE-GROUND OUTLET STRUCTURE (OS-1) DETAIL

NOT TO SCALE

3

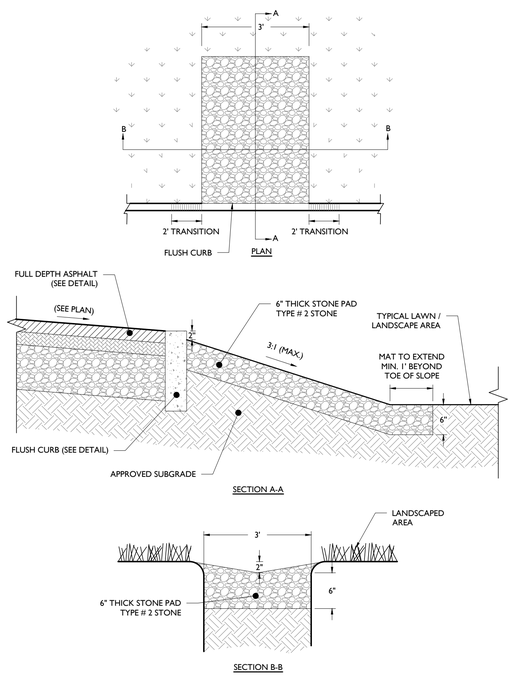


DOLLAR GENERAL MONUMENT SIGN

NOT TO SCALE

NOTES:
1. SIGN FACE WILL BE INTERNALLY ILLUMINATED

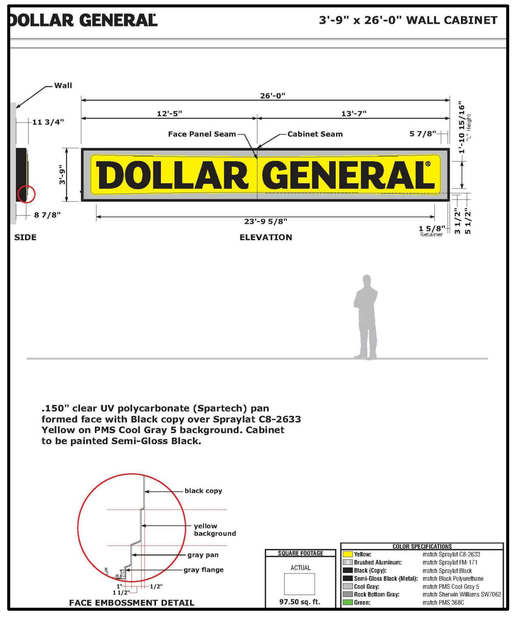
4



CRUSHED STONE MAT SWALE DETAIL

NOT TO SCALE

5



DOLLAR GENERAL WALL SIGN

6

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DRAWING: C-15

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